

**AGENDA  
REGULAR SESSION  
HIGHLAND CITY COUNCIL  
CITY HALL, 1115 BROADWAY  
MONDAY, MAY 4, 2020  
7:00 PM**

**NOTE: This meeting will be conducted via phone conference as part of COVID-19 response.**  
**Please see page 3 of this agenda for instructions for submitting public comments and for monitoring the meeting**

**CALL TO ORDER / ROLL CALL / PLEDGE OF ALLEGIANCE:**

**MINUTES:**

**MOTION** – Approve Minutes of April 20, 2020 Regular Session (attached)

**PROCLAMATIONS:**

- Mayor Michaelis will read a document proclaiming the month of May as Motorcycle Awareness Month in Highland.

**PUBLIC FORUM:**

A. Citizens' Requests and Comments:

**Anyone wishing to address the Council on any subject may do so at this time.  
Please come forward to the microphone.**

B. Requests of Council:

C. Staff Reports:

**NEW BUSINESS:**

- A. **MOTION** – Approve Mayor's Reappointments of Members of the Industrial Development Commission, Including: Jim Meridith, Diane Korte-Lindsay, Jon Greve, Marshall Rinderer, and Bill Napper (attached)
- B. **MOTION** – Approve Notice of Municipal Letting, Bid #PW-21-19, Water Main Improvements FY2020 (attached)
- C. **MOTION** – Bill #20-63/RESOLUTION Appropriating Funds for Motor Fuel Tax Maintenance Materials (MFT Section 21-00000-00-GM) (attached)
- D. **MOTION** – Bill #20-64/RESOLUTION Authorizing And Approving City Manager's Total Compensation Package (attached)
- E. **MOTION** – Bill #20-65/ORDINANCE Authorizing The Purchase of Real Estate From Donald L Shimer For Possible Future Construction of A Parking Lot Elimination of Blight, and/or Another Public Purpose (attached)

**Continued**

**REPORTS:**

- A. **MOTION** – Approve Warrant #1164 (attached)

**EXECUTIVE SESSION:**

The City Council may conduct an Executive Session pursuant to the Illinois Open Meetings Act, only after citing the open meetings act exemption(s) allowing the meeting.

**ADJOURNMENT:**



Anyone requiring accommodations, provided for in the Americans with Disabilities Act (ADA), to attend this public meeting, please contact Dylan Stock, ADA Coordinator, by 2:00 PM on Monday, May 4, 2020, by calling 618-654-7115.



### **Directions for Public Monitoring of Highland City Council Meetings:**

In an effort to protect as many individuals as possible, including the leaders of our communities statewide, Governor J.B. Pritzker has issued a number of directives, one of which was to suspend the provisions of the Illinois Open Meetings Act (5 ILCS 120), requiring or relating to in-person attendance by members of a public body. Specifically, (1) the requirement in 5 ILCS 120/2.01 that “members of a public body must be physically present;” and (2) the conditions in 5 ILCS 120/7 limiting when remote participation is permitted, are suspended. Public bodies are encouraged to postpone consideration of public business where possible. When a meeting is necessary, public bodies are encouraged to provide video, audio, and/or telephonic access to their meetings to ensure members of the public may monitor the meeting, and to update their websites and social media feeds to keep the public fully apprised of any modifications to their meeting schedules or the format of their meetings due to COVID-19, as well as their activities relating to COVID-19.

In following this directive, the City of Highland is providing the following phone number for use by citizens to call in just before the start of this meeting:

**618-882-5625**

Once connected, you will be prompted to enter a conference ID number.

**Conference ID #: 535624**

This will allow a member of the public to hear the city council meeting. **Note:** This is for audio monitoring of the meeting, only. Participants will not be able make comments.

Anyone wishing to address the city council on any subject during the Public Forum portion of the meeting may submit their questions/comments in advance via email to [lhediger@highlandil.gov](mailto:lhediger@highlandil.gov) or, by using the citizens’ portal on the city’s website found here: [https://www.highlandil.gov/citizen\\_request\\_center\\_app/index.php](https://www.highlandil.gov/citizen_request_center_app/index.php). Any comments received prior to the end of the “Public Forum” portion of the meeting, will be read into the record.

# PROCLAMATION

**WHEREAS**, safety is the highest priority for the highways and streets of our City and State; and

**WHEREAS**, the great State of Illinois is proud to be a national leader in motorcycle safety, education and awareness; and

**WHEREAS**, motorcycles are a common and economical means of transportation that reduces fuel consumption and road wear, and contribute in a significant way to the relief of traffic and parking congestion; and

**WHEREAS**, it is especially meaningful that the citizens of our city and state be aware of motorcycles on the roadways and recognize the importance of motorcycle safety; and

**WHEREAS**, the members of A.B.A.T.E. of Illinois, Inc. (A Brotherhood Aimed Toward Education), continually promote motorcycle safety, education, and awareness in high school drivers' education programs and to the general public in our City and State, presenting motorcycle awareness programs to over 120,000 participants in Illinois over the past five years; and

**WHEREAS**, all motorcyclists should join A.B.A.T.E. of Illinois, Inc. in actively promoting the safe operation of motorcycles as well as promoting motorcycle safety, education, awareness and respect of the citizens of our City and State; and

**WHEREAS**, the motorcyclists of Illinois have contributed extensive volunteerism and money to national and community charitable organizations; and

**WHEREAS**, during the month of May, all roadway users should unite in the safe sharing of roadways within the City of Highland, and throughout the great State of Illinois.

**NOW, THEREFORE, I**, Joseph R. Michaelis, Mayor of the City of Highland, Illinois, in recognition of 33 years of A.B.A.T.E. of Illinois, Inc., and over 293,000 registered motorcyclists statewide, and in recognition of the continued role Illinois serves as a leader in motorcycle safety, education and awareness, do hereby proclaim the month of May, 2020, as

## MOTORCYCLE AWARENESS MONTH

in the City of Highland, and urge all motorists to join in an effort to improve safety and awareness on our roadways.

**IN WITNESS WHEREOF**, I have hereunto set my hand and caused the Seal of the City of Highland to be affixed this 4<sup>th</sup> day of May, 2020.

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Mayor

**MEMO TO:**           **City Council Members**

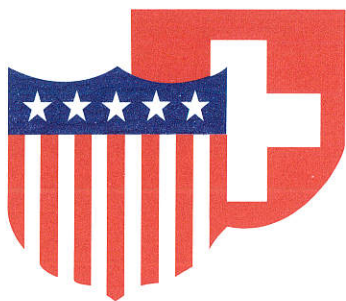
**FROM:**           **Mayor Joseph R. Michaelis**

**SUBJECT:**       **Reappointments to the Industrial Development Commission**

**DATE:**           **May 1, 2020**

Each year, the Industrial Development Commission members must either be reappointed or replaced. The current members are: Jim Meridith, Diane Korte-Lindsey, Jon Greve, Marshall Rinderer, and Bill Napper. They have all agreed to serve additional one-year terms. Each has performed their duties well and therefore, I am asking that you approve their reappointments.

If you have any questions regarding these reappointments, please let me know.



# City of Highland

**MEMO TO:** Mark Latham, City Manager

**FROM:** Joe Gillespie, Director of Public Works

**DATE:** April 27, 2020

**SUBJECT:** Water Main Improvements FY 2020, PW-21-19  
Recommendation for Approval of Notice of Municipal Letting

## RECOMMENDATION

I recommend that you request council approval of a NOML for the above referenced project.

## DISCUSSION

We want to continue working on our master plan to replace problematic water mains in the system. We intended to complete this project in FY2020, but engineering and permitting took longer than expected. The proposed project will target the following mains:

- Through the Sharpshooters (fairgrounds) property from Lindenthal Avenue southerly along Parkhill Drive to Hill Crest Drive
- From the north end of Pike Drive East (St. Paul cemetery) north then east to Rinderer Park
- 3<sup>rd</sup> Street from Walnut to the west
- Commitment for Raeber property near the Highland Cemetery

## FISCAL IMPACT

We are utilizing budgeted funds from the water distribution account.

## CONCURRENCE

Recommended by: \_\_\_\_\_

*Joe Gillespie*  
Joe Gillespie, Director of Public Works

Approved by: \_\_\_\_\_

*Mark Latham*  
Mark Latham, City Manager



PLANS FOR  
*WATER MAIN IMPROVEMENTS*  
*F.Y. 2020*  
*PARKHILL DRIVE*  
*E. PIKE DRIVE TO VETERANS HONOR PARKWAY*  
*GLORY DRIVE TO RAEBER ROAD*  
*3RD STREET*  
FOR THE  
CITY OF HIGHLAND,  
MADISON COUNTY, ILLINOIS

OFFICIALS

MAYOR

JOSEPH R. MICHAELIS

COUNCIL

PEGGY BELLM  
RICK J. FREY  
JOHN HIPSKIND  
SARAH SLOAN

CITY CLERK

BARBARA BELLM

DEPUTY CITY CLERK

LANA HEDIGER

CITY MANAGER

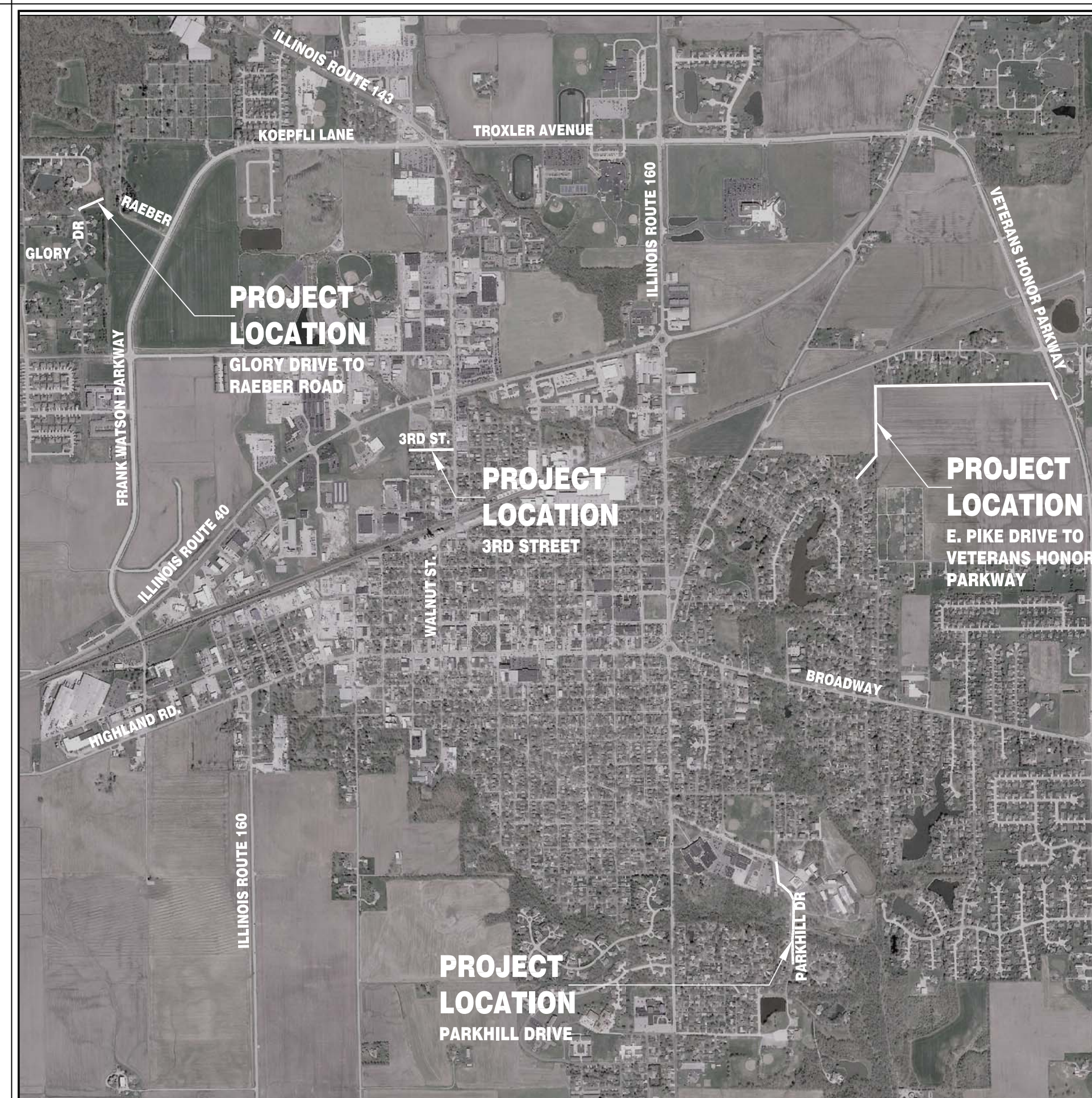
MARK LATHAM

DIRECTOR OF FINANCE

KELLY KORTE

DIRECTOR OF PUBLIC WORKS

JOE GILLESPIE



LOCATION MAP

INDEX TO SHEETS

<u>SHEET NO.</u>	<u>TITLE</u>
1	COVER SHEET
2	GENERAL PLAN AND GENERAL NOTES
3-5	DETAIL PLAN SHEETS (MADISON COUNTY FAIRGROUNDS)
6-7	DETAIL PLAN SHEETS (E. PIKE DRIVE TO VETERANS HONOR PARKWAY)
8	DETAIL PLAN SHEETS (GLORY DRIVE TO RAEBER ROAD)
9	DETAIL PLAN SHEETS (3RD STREET)
10	CITY OF HIGHLAND STANDARD WATER MAIN DETAILS
11	TYPICAL WATER MAIN DETAILS

2019.116 DESIGN  
2019.117 BID  
2019.118 CONSTRUCTION GUIDANCE

PREPARED BY:

**CA**  
urry & ASSOCIATES  
ENGINEERS INC

IEPA PERMIT NO.

ISSUED FOR BIDS:  
BIDS DUE:

PHILIP CURRY  
ILLINOIS REGISTERED PROFESSIONAL  
ENGINEER NO. 062-063543

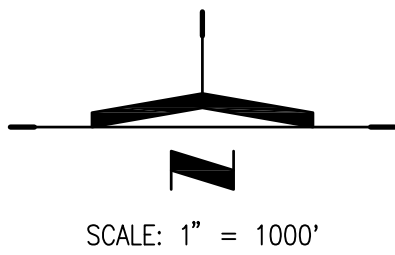


EXISTING TOPOGRAPHIC LEGEND

	BUILDING		BRUSH/TREE LINE
	UTILITY POLE		TREE (SIZE INDICATED)
	BURIED ELECTRIC LINE		ROAD/STREET SIGN
	BURIED ELECTRIC TRANSFORMER		BILLBOARD SIGN
	BURIED FIBER OPTIC CABLE		WATER MAIN
	BURIED TELEPHONE CABLE		WATER MAIN GATE VALVE & BOX
	TELEPHONE PESTEDAL (SPICE BOX)		TWO WAY FIRE HYDRANT
	MAIL BOX		THREE WAY FIRE HYDRANT
	STEEL POST/BOLLARD		WATER METER
	IRON PIN (PROPERTY CORNER)		SANITARY SEWER MANHOLE
	CONCRETE MONUMENT (PROPERTY CORNER)		SANITARY SEWER (GRAVITY)
	RIGHT OF WAY LINE		SANITARY SEWER FORCE MAIN
	PROPERTY LINE		SEWAGE AIR RELEASE VALVE
	CENTER LINE OF ROADWAY/SURVEY		GAS MAIN
	FENCE LINE		GAS METER
	FENCE POST		PAVED ROADWAY
	CONCRETE SIDEWALK		CONCRETE DRIVE/PAD
	OPEN DRAINAGE DITCH		FLOWER BOX
	DRAINAGE CULVERT		FLAG POLE
	STORM SEWER		SECURITY LIGHT
	STORM SEWER INLETS		
	BUSH/SHRUB		

PROPOSED LEGEND

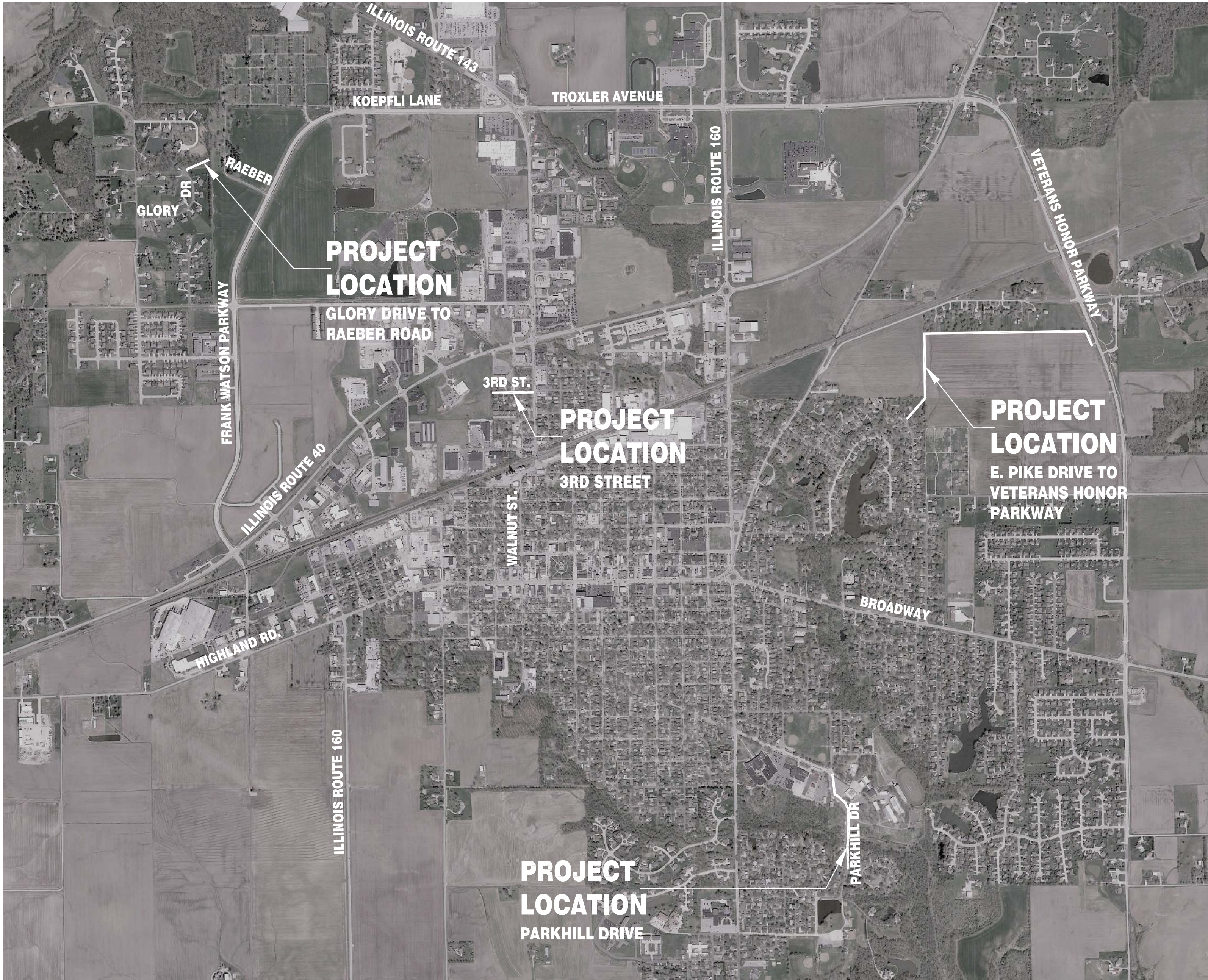
	PROVIDE WATER MAIN EXTENSION
	PROVIDE GATE VALVE AND C.I. BOX
	PROVIDE THREE-WAY FIRE HYDRANT WITH AUXILIARY GATE VALVE AND C.I. BOX
	INDICATES SHEET NUMBER



GENERAL NOTES

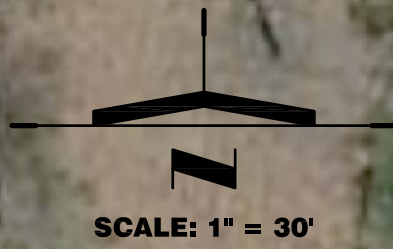
- THE LOCATION OF EXISTING UNDERGROUND PIPING AND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM AVAILABLE INFORMATION, AND HAS BEEN SHOWN ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR MUST ASSUME RESPONSIBILITY FOR ALL EXISTING FACILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN OR NOT, AND MUST REALIZE THAT THE ACTUAL LOCATION OF UNDERGROUND PIPING AND UTILITIES MAY BE DIFFERENT FROM THAT SHOWN ON THE PLANS. ALL PROPOSED UNDERGROUND PIPING SHALL BE VERIFIED IN THE FIELD. WHERE NECESSARY, MINOR REVISIONS MAY BE NEEDED TO MATCH EXISTING WORK, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED. CONTACT UTILITY OWNERS 48 HOURS PRIOR TO COMMENCING EXCAVATION. CONTACT J.U.L.I.E.
- PROVIDE SELECT GRANULAR BACKFILL (CA7) OR COMPACTED CAG AS DIRECTED BY ENGINEER BENEATH DRIVEWAYS AND ROADS WHERE THE WATER MAIN IS OPEN CUT BENEATH SURFACED AREAS. SELECT GRANUAL BACKFILL SHALL EXTEND TO A POINT AT LEAST 4 FEET PAST THE EDGE OF EXISTING SURFACED AREAS. USE GRANULAR CRADLE UNDER PIPE WHERE IT IS BENEATH DRIVEWAYS AND STREETS.
- MINIMUM COVER OVER THE TOP OF THE PROPOSED WATER MAIN PIPE SHALL BE NOT LESS THAN 4.0 FEET OR MORE THAN 6 FEET. AT LOCATIONS WHERE WATER MAIN CROSSES BENEATH CULVERTS, PROVIDE MINIMUM 1 FT. FROM TOP OF PIPE TO BOTTOM OF CULVERT.
- THRUST BLOCKS SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN ON TYPICAL WATER MAIN DETAIL SHEET.
- EXCEPT WHERE NOTED OTHERWISE, WATER MAIN PIPE SHALL BE PVC DR 18. DR 18 PIPE SHALL COMPLY WITH NSF 14 AND AWWA C-900, INCLUDING MARKINGS. PVC MATERIALS SHALL COMPLY WITH ASTM D-1784 FOR CELL CLASSIFICATION 12454-B. JOINTS SHALL BE COMPRESSION TYPE COMPLYING WITH ASTM D-3139, AND GASKETS SHALL CONFORM WITH ASTM F-477 FOR ELASTOMERIC SEALS. PIPE JOINT LUBRICANTS SHALL BE NSF 61 CERTIFIED FOR POTABLE WATER.  
  
PVC PIPE EVIDENCING ULTRAVIOLET RADIATION "SUNBURN" DAMAGE DUE TO DIRECT EXPOSURE TO SUNLIGHT SHALL NOT BE USED, AND THE TIME BETWEEN DATE OF MANUFACTURE AND DATE OF INSTALLATION SHALL BE LESS THAN ONE YEAR.
- BURIED WATER MAIN PIPE FITTINGS SHALL BE RESTRAINED MECHANICAL JOINT, DUCTILE IRON, 350 PSI PRESSURE RATING IN ACCORD WITH AWWA STANDARD C110 OR C153, WITH CEMENT MORTAR LINING IN ACCORD WITH AWWA STANDARD C104. MEGA-LUG OR EQUAL RESTRAINING GLANDS SHALL BE PROVIDED FOR ALL MECHANICAL JOINT FITTINGS. POLYETHLENE ENCASE ALL D.I. FITTINGS IN ACCORD WITH AWWA STANDARD C-105. INCLUDE COST OF FITTINGS WITH CONTRACT UNIT PRICE FOR WATER MAINS. ALL FITTINGS SHALL BE "AMERICAN-MADE".
- THE WATER MAIN SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE TEST USING 125 PSI MINIMUM PRESSURE. IF EXPOSED SECTIONS OF PIPE ARE TESTED, THE MINIMUM TEST DURATION SHALL BE 2 HOURS. IF BURIED SECTIONS OF PIPE ARE TESTED, THE MINIMUM TEST DURATION SHALL BE 6 HOURS. NO PIPE WILL BE ACCEPTED UNLESS AND UNTIL THE LEAKAGE, DETERMINED UNDER THE SPECIFIED TEST PRESSURE IS LESS THAN COMPUTED WITH THE FOLLOWING FORMULA:  
$$L = \frac{ND(P)^{0.5}}{7400}$$

L = ALLOWABLE LEAKAGE, GALLONS PER HOUR.  
N = NUMBER OF JOINTS IN LINE BEING TESTED  
D = PIPE DIAMETER, INCHES.  
P = AVERAGE TEST PRESSURE, PSI.
- DISINFECT NEW MAINS AND APPURTENANCES WITH CHLORINE IN ACCORD WITH AWWA STANDARD C-651 FOR STERILIZATION OF PLASTIC PIPE. THE PROPOSED WATER MAIN AND APPURTENANCES SHALL BE THOROUGHLY DISINFECTED WITH MINIMUM 50 MG/L CHLORINE DOSAGE FOR A PERIOD OF AT LEAST 24 HOURS. AT THE END OF THE 24 HOUR DISINFECTION PERIOD, A MINIMUM 25 MG/L CHLORINE RESIDUAL SHALL BE PRESENT. AFTER FLUSHING, BACTERIOLOGICAL SAMPLES SHALL BE COLLECTED AS SPECIFIED BELOW:  
  
FOR WATER MAIN CONSTRUCTION PROJECTS AT EXISTING COMMUNITY WATER SUPPLIES PRACTICING CHLORINATION IN ACCORD WITH 35 ILL. ADM. CODE 611.250, SATISFACTORY DISINFECTION IS DEMONSTRATED WHEN EACH INDIVIDUAL WATER SAMPLE SET INDICATES NO BACTERIAL GROWTHS AS MEASURED BY THE MEMBRANE FILTER TECHNIQUE OR NO TUBES POSITIVE AS MEASURED BY THE PRESUMPTIVE TEST, FERMENTATION TUBE METHOD AS SET FORTH IN 35 ILL. ADM. CODE 611; AND ADEQUATE CHLORINE RESIDUAL IS PRESENT AT THE POINT OF CONNECTION. ADEQUATE CHLORINE RESIDUAL EXISTS IN A DISTRIBUTION SYSTEM WHEN THERE IS A MINIMUM OF 0.2 MG/L FREE CHLORINE RESIDUAL FOR WATER SUPPLIES PRACTICING FREE CHLORINATION OR 0.5 MG/L COMBINED CHLORINE RESIDUAL FOR WATER SUPPLIES PRACTICING COMBINED CHLORINATION. A SAMPLE SET CONSISTS OF THE FOLLOWING:  
  
FOR WATER MAINS, REPRESENTATIVE WATER SAMPLES MUST BE COLLECTED FROM EVERY 1200 FT. OF NEW MAIN ALONG EACH BRANCH AND FROM THE END OF THE LINE. THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (THE AGENCY) MAY APPROVE A DIFFERENT SAMPLING PLAN ON A SITE-SPECIFIC BASIS.  
  
IF THE ANALYSIS OF ANY SAMPLE SET INDICATES THE PRESENCE OF BACTERIAL GROWTH, THE CONTRACTOR OR COMMUNITY WATER SUPPLY MUST DO THE FOLLOWING TO DEMONSTRATE SATISFACTORY DISINFECTION:  
  - RESAMPLE AT THE SAMPLING POINT INDICATING CONTAMINATION AND AT EVERY SAMPLING POINT DOWNSTREAM OF THE POINT INDICATING CONTAMINATION.
  - SUBMIT A GENERAL LAYOUT SHEET OF THE PROJECT INDICATING THE LOCATION OF ALL WATER MAINS TO BE OPERATING; AND
  - SUBMIT EVIDENCE TO THE AGENCY THE TWO CONSECUTIVE RESAMPLES SETS COLLECTED AT THE SAMPLING POINT INDICATING CONTAMINATION AND AT EVERY SAMPLING POINT DOWNSTREAM OF THE POINT INDICATING CONTAMINATION.
  - EACH SAMPLE AND/OR RESAMPLE SET SHALL INDICATE NO BACTERIAL GROWTHS AS MEASURED BY THE PRESUMPTIVE TEST, FERMENTATION TUBE METHOD AS SET FORTH IN 35 ILL. ADM. CODE 611.  
BACTERIOLOGICAL TESTING OF ALL TREATED WATER SAMPLES SHALL BE PERFORMED BY A LABORATORY CERTIFIED BY ILLINOIS EPA PURSUANT TO 415 ILLINOIS COMPILED STATUTES 4/5(a), OR CERTIFIED BY USEPA. ALL SAMPLES SHALL REACH THE LABORATORY WITHIN 30 HOURS DURING REGULAR WEEK DAYS (EXCLUDING SATURDAY, SUNDAY, AND LEGAL HOLIDAYS). AFTER RECEIPT OF ORIGINAL LABORATORY REPORTS INDICATING THAT THE BACTERIOLOGICAL SAMPLES ARE SATISFACTORY, DELIVER ALL ORIGINAL REPORTS TO OWNER'S RESPONSIBLE OPERATOR IN RESPONSIBLE CHARGE. OWNER SHALL APPLY FOR AN IEPA OPERATING PERMIT FOR THE SECTION(S) OF WATER MAIN THAT HAVE BEEN DEMONSTRATED TO BE SATISFACTORILY DISINFECTED. AFTER THE OWNER RECEIVES THE IEPA OPERATING PERMIT, THE OWNER SHALL FLUSH THE MAIN AGAIN AND PLACE THE MAIN INTO SERVICE. INCLUDE COST OF DISINFECTION AND BACTERIOLOGICAL SAMPLING WITH COST OF WATER, MAIN, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED. COMPLY WITH 01656 OF SPECS.
- CONFINE OPERATIONS WITHIN RIGHT OF WAY OR EASEMENTS INDICATED ON THE DRAWINGS. DO NOT ENCROACH ONTO PRIVATE PROPERTY WITHOUT WRITTEN PERMISSION OF THE PROPERTY OWNER.
- PRIOR TO FINAL ACCEPTANCE BY THE OWNER, THE CONTRACTOR SHALL FURNISH TO THE ENGINEER ACCURATELY MARKED UP DRAWINGS SHOWING THE INSTALLED LOCATION AND FEATURES OF THE MAINS, INCLUDING DISTANCE FROM FIRE HYDRANT TO CENTER OF MAIN, DISTANCE FROM WATER MAIN TO CENTER OF PAVEMENT IN REPRESENTATIVE LOCATIONS, VALVE TIE DISTANCES (3 MINIMUM), ETC. THE ENGINEER SHALL REVISE THE ORIGINAL DRAWINGS AND SUBMIT COPIES OF RECORD DRAWINGS TO THE OWNER.
- FERTILIZE, SEED, AND MULCH ALL UNSURFACED AREAS DISTURBED BY CONSTRUCTION.
- PROVIDE 12 GAUGE COATED COPPER TRACER WIRE ON ALL PIPE INSTALLED UNDER THIS CONTRACT. COST SHALL BE INCLUDED WITH CONTRACT PRICE AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- CONTRACTOR SHALL USE RUBBER STREET PADS ON BACKHOE FOR ALL OPERATIONS ON THIS PROJECT.
- CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL SEEDING (SINGLE APPLICATION OF OATS OR WINTER WHEAT AT A RATE OF 100 POUNDS/ACRE) AND TEMPORARY MULCH (SINGLE APPLICATION AT A RATE OF 2 TONS/ACRE BY HAND OR MACHINE METHOD) IMMEDIATELY FOLLOWING BACKFILL AND PRIOR TO FINAL STABILIZATION OF DISTURBED AREAS.
- CONTRACTOR SHALL TAKE PRECAUTION TO PROTECT EXISTING FENCES AND OTHER STRUCTURES AGAINST DAMAGE. ANY DAMAGE SHALL BE REPAIRED TO ORIGINAL CONDITION AT CONTRACTOR'S EXPENSE, AND NO FURTHER COMPENSATION WILL BE ALLOWED.
- WATER MAINS SHALL BE SEPARATED FROM SEPTIC TANKS, DISPOSAL FIELDS AND SEEPAGE BEDS BY A MINIMUM OF 25 FEET.



WATER MAIN IMPROVEMENTS F.Y. 2020 CITY OF HIGHLAND, ILLINOIS		GENERAL PLAN AND GENERAL NOTES	
	Revisions	Survey API	SHEET <b>2</b>
		Design RKM	
	Layout LAYOUT 1	Drawn REJ, ALH	OF
	Plot Date 4-8-2020	Checked RKM	
	Dwg File 19116-GP	Date DEC. 2019	Job No. 2019.116





MATCH LINE A  
SHEET 4

WATER MAIN IMPROVEMENTS  
F.Y. 2020  
CITY OF HIGHLAND, ILLINOIS

PARKHILL DRIVE  
DETAIL PLAN SHEET



Revisions	Survey	API	Design	Drawn	Checked	Date	Job No.
Layout	LAYOUT 1	2-20-2020	19116-FAIR	DEC. 2019			
SHEET	3	OF					





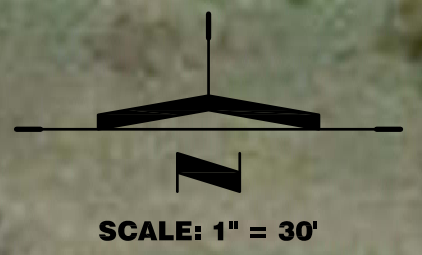
WATER MAIN IMPROVEMENTS  
F.Y. 2020  
CITY OF HIGHLAND, ILLINOIS

PARKHILL DRIVE  
DETAIL PLAN SHEET



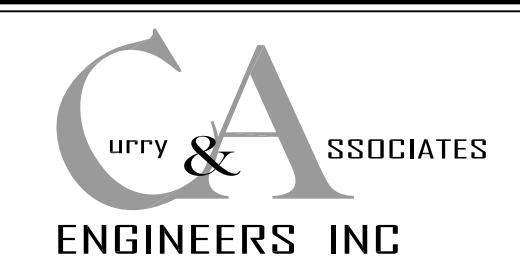
Revisions	Survey API	SHEET  <b>4</b>  OF
	Design RKM	
Layout LAYOUT 2	Drawn ALH, REJ	
Plot Date 2-20-2020	Checked	
Dwg File 19116-FAIR	Date DEC. 2019	
		Job No. 2019.116





WATER MAIN IMPROVEMENTS  
F.Y. 2020  
CITY OF HIGHLAND, ILLINOIS

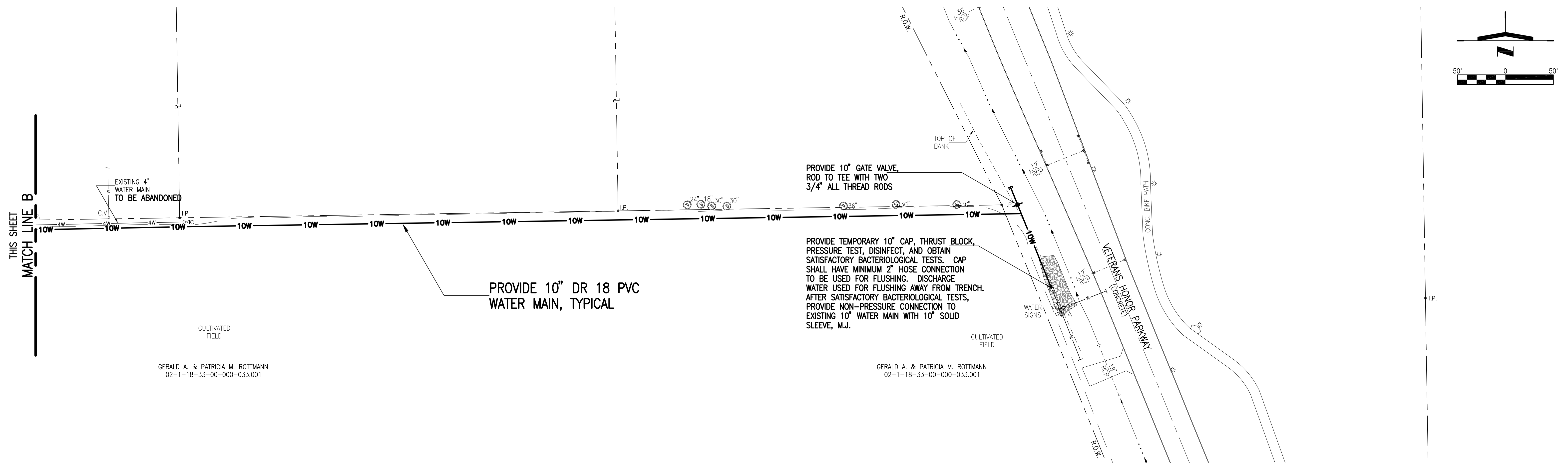
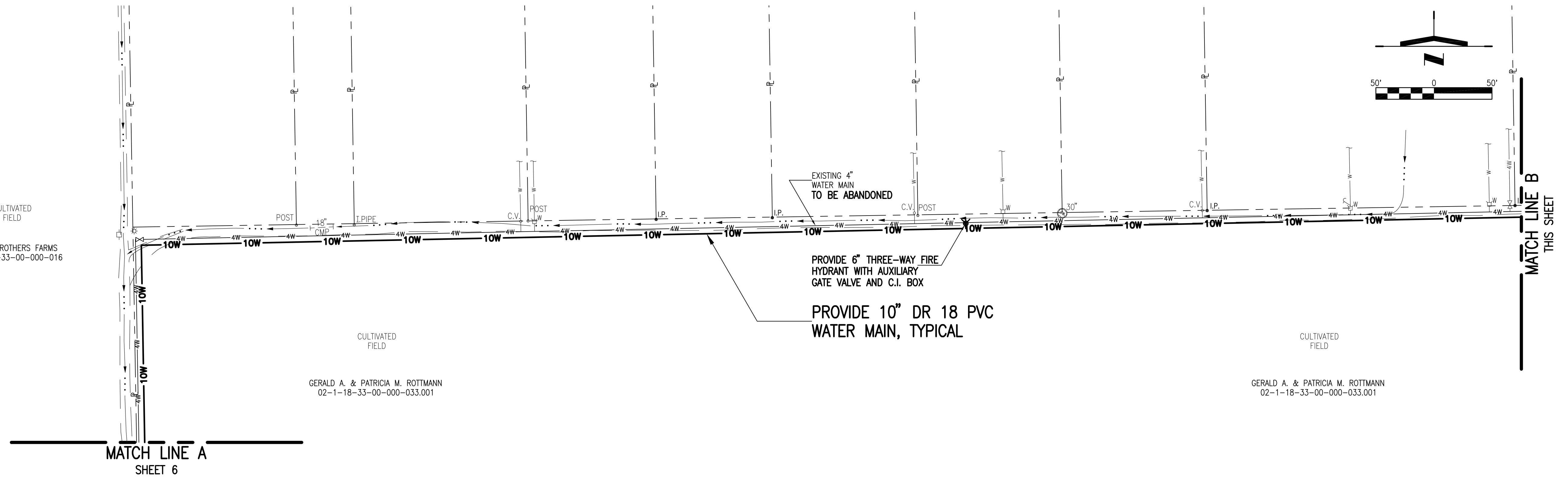
PARKHILL DRIVE  
DETAIL PLAN SHEET




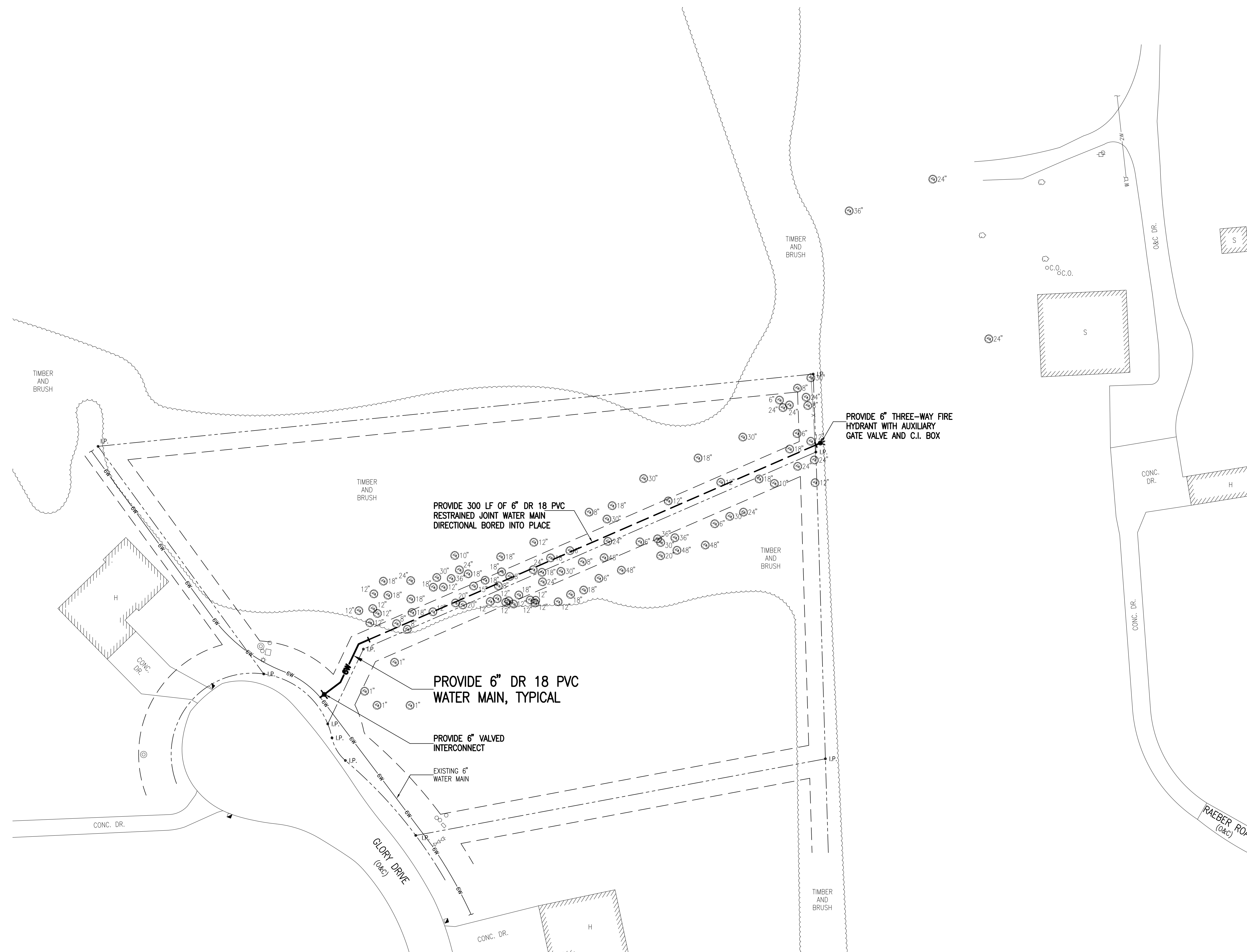
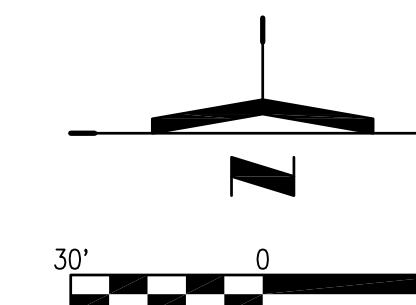
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	API	5
	Design	
	RKM	
Layout	Drawn	OF
LAYOUT 3	ALH, REJ	
Plot Date	Checked	
2-20-2020		
Dwg File	Date	Job No.
19116-FAIR	DEC. 2019	2019.116





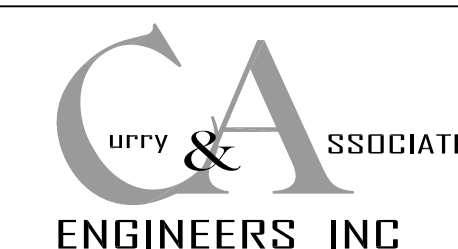


WATER MAIN IMPROVEMENTS F.Y. 2020 CITY OF HIGHLAND, ILLINOIS			E. PIKE DRIVE DETAIL PLAN SHEET		
	Revisions	Survey	SHEET  7  OF		
		API			
		Design			
		RKM			
		Drawn			
		ALH, REJ			
	Layout	Checked			
	LAYOUT 2				
	Plot Date				
	2-20-2020				
	Dwg. File	Date	Job No.		
	TOPO-VET	DEC. 2019	2019.116		

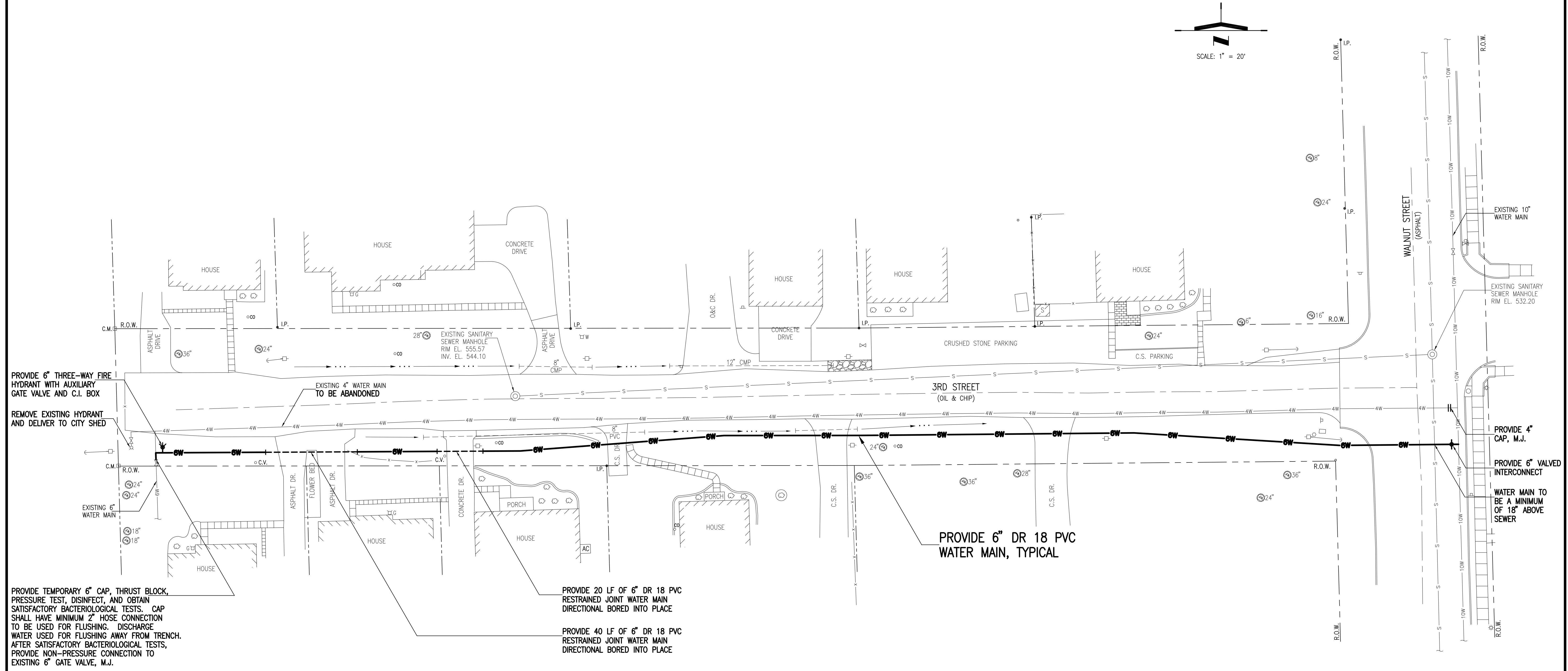
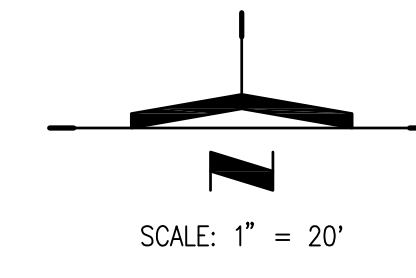


WATER MAIN IMPROVEMENTS  
F.Y. 2020  
CITY OF HIGHLAND, ILLINOIS

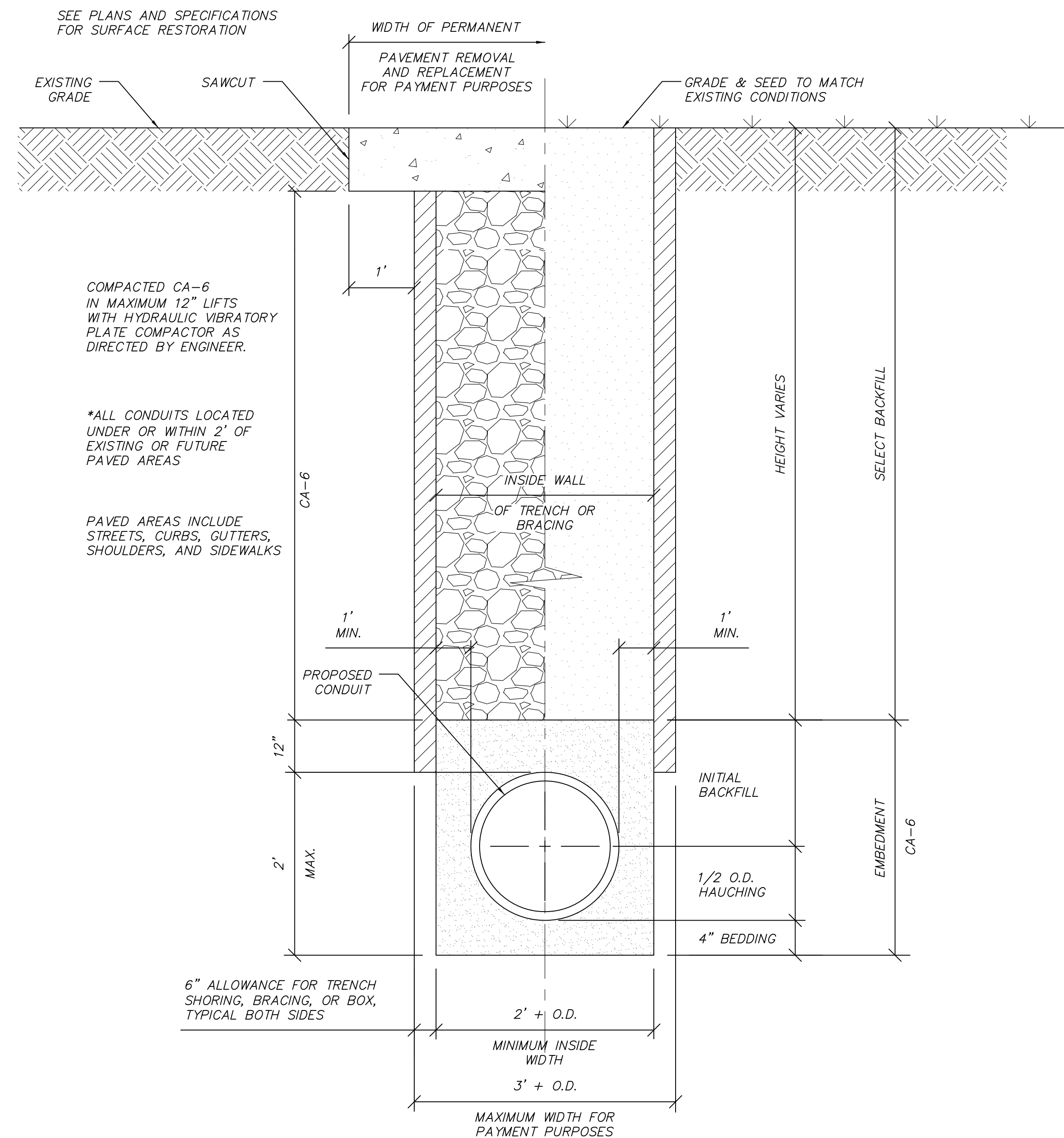
GLORY DRIVE  
DETAIL PLAN SHEET



Revisions	Survey	SHEET <b>8</b> OF
	API	
	Design	
	RKM	
	Drawn	
Layout	ALH, REJ	Job No. 2019.116
LAYOUT 1	Checked	
Plot Date	Date	
2-18-2020	DEC. 2019	
Dwg File		
19116-RAEBER		



WATER MAIN IMPROVEMENTS F.Y. 2020 CITY OF HIGHLAND, ILLINOIS			3RD STREET DETAIL PLAN SHEET	
	Revisions	Survey	SHEET <b>9</b> OF	Job No. 2019.116
		API		
		Design		
		RKM		
		Drawn		
	Layout	REJ	Date DEC. 2019	
	LAYOUT 1	Checked		
	Plot Date			
	2-20-2020			
	Dwg. File		Date	
	19116-3RD			



### WATER MAIN TRENCH DETAIL

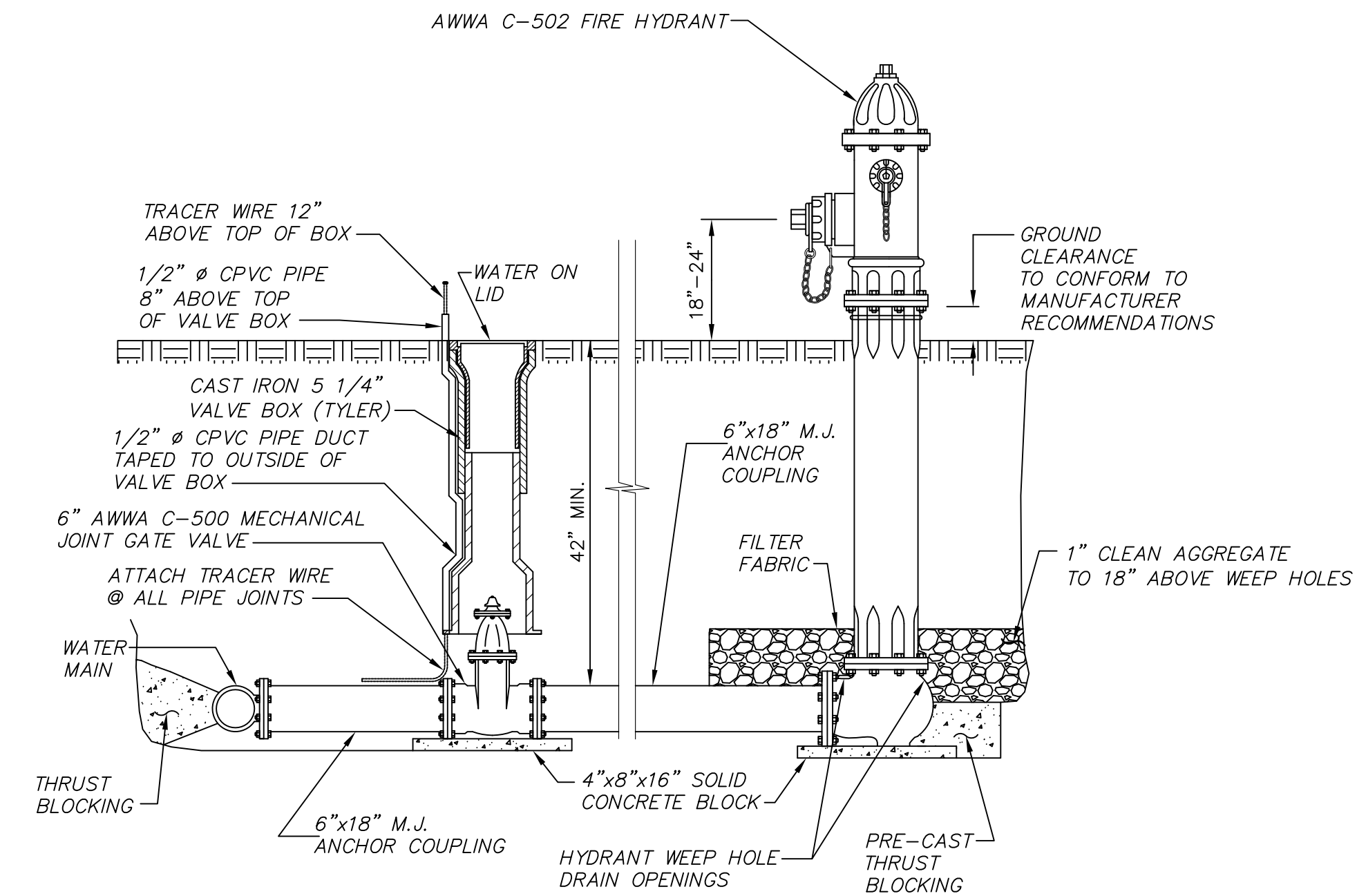
NOT TO SCALE

#### NOTES:

SEE PLANS AND SPECIFICATIONS FOR SURFACE RESTORATION.

IDENTIFICATION OF WHERE SELECT GRANULAR MATERIAL IS REQUIRED TERMINOLOGY, DIMENSION AND TYPE OF SELECT MATERIAL, WHEN REQUIRED.

TRENCH BOX SHALL NOT EXTEND BELOW TOP OF PIPE, HOWEVER IT SHALL NOT EXCEED 2 FEET FROM THE BOTTOM OF THE TRENCH.

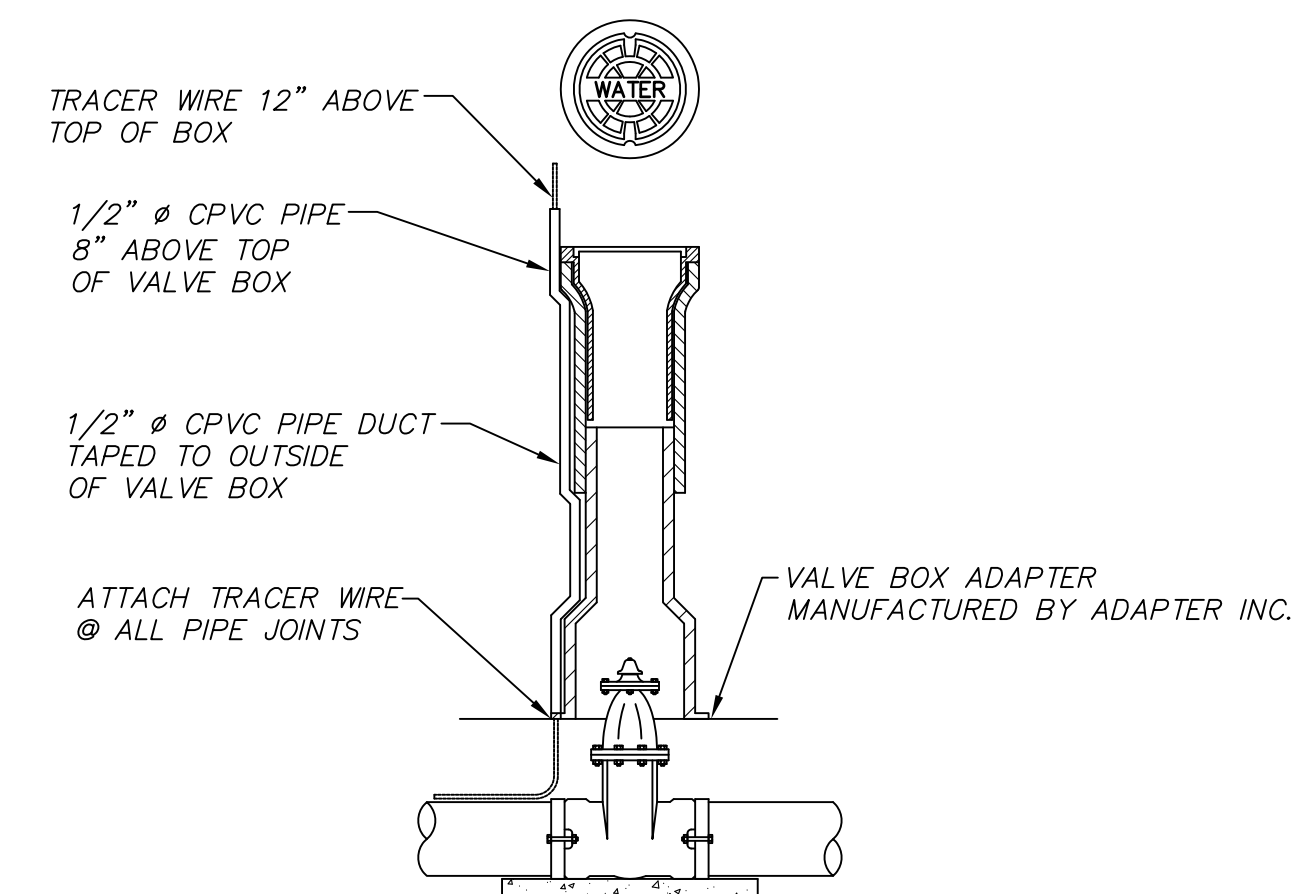


### FIRE HYDRANT DETAIL

NOT TO SCALE

SPECIFICATIONS: FIRE HYDRANTS SHALL BE KENNEDY GUARDIAN K-81A, OR CLOW MEDALION F2545 (SELECTION BY CITY), 5 1/4 3-WAY WITH A FOUR(4) FOOT BURY, TWO - 2 1/2" DISCHARGE NOZZLES, AND A 4 1/2" STEAMER NOZZLE, ALL CONFORMING TO AWWA C-502.

EXECUTION: EXECUTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.



### CAST IRON VALVE BOXES & TRACER WIRE DETAIL

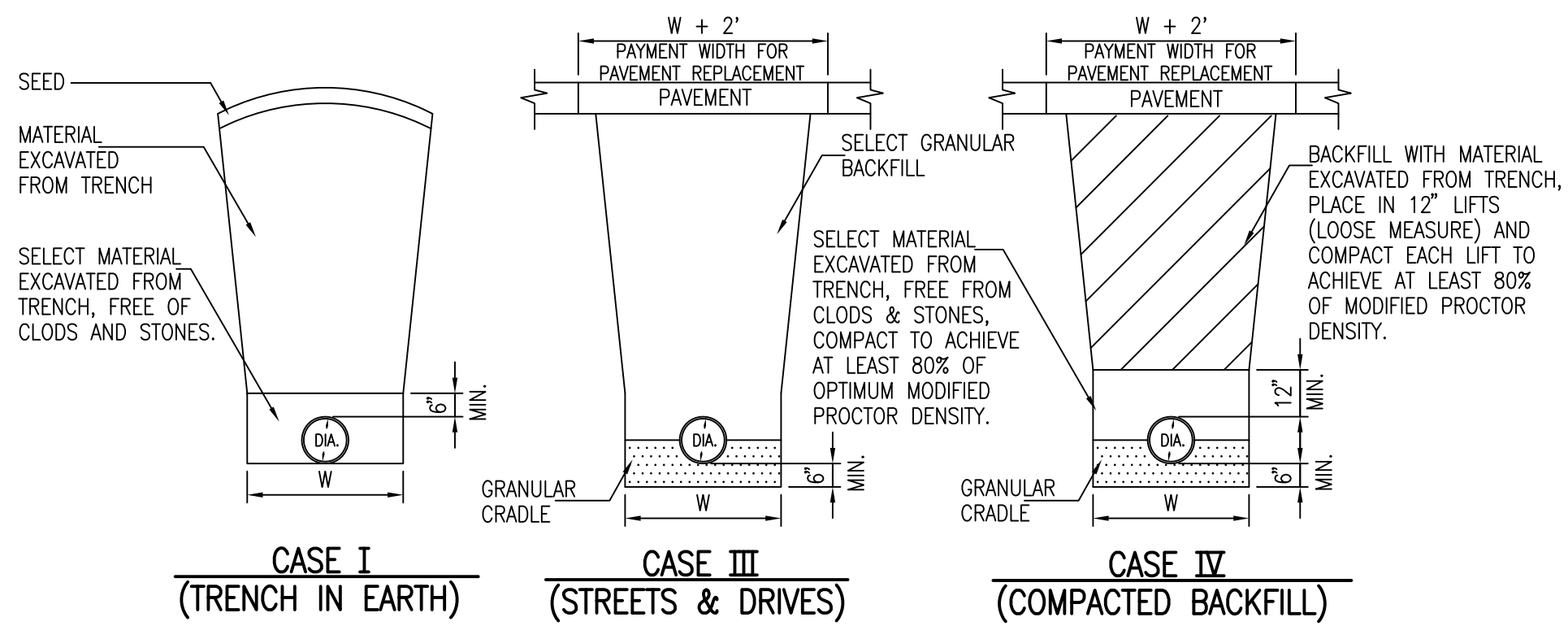
NOT TO SCALE

SPECIFICATIONS: CAST IRON VALVE BOX MADE BY "TYLER" 5 1/4" WITH SCREW TYPE ADJUSTMENT

EXECUTION: EXECUTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATION FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.

WATER MAIN IMPROVEMENTS F.Y. 2020 CITY OF HIGHLAND, ILLINOIS			CITY OF HIGHLAND STANDARD WATER MAIN DETAILS	
	Revisions	Survey	SHEET <b>10</b> OF	Job No. 2019.116
	Layout	Design		
	LAYOUT 1	Drawn		
	Plot Date 2-19-2020	Checked	Date DEC. 2019	
	Dwg File 19116-DTL	Date		





### TRENCH BACKFILL DETAILS

#### TRENCH NOTES:

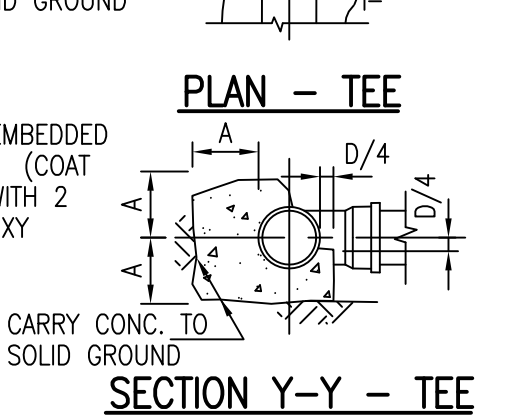
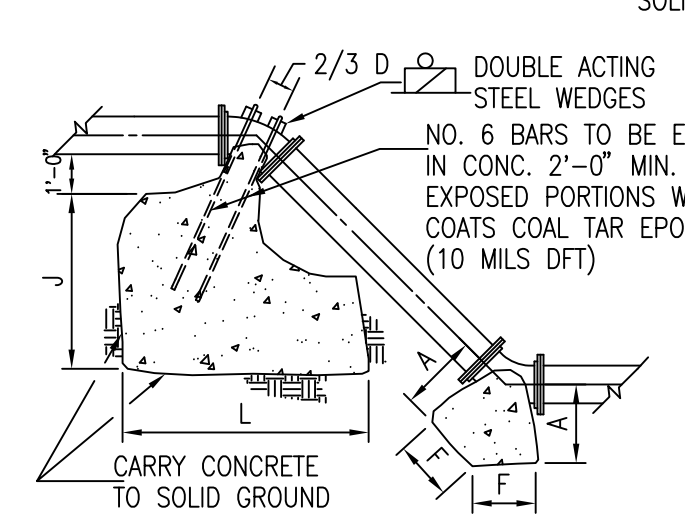
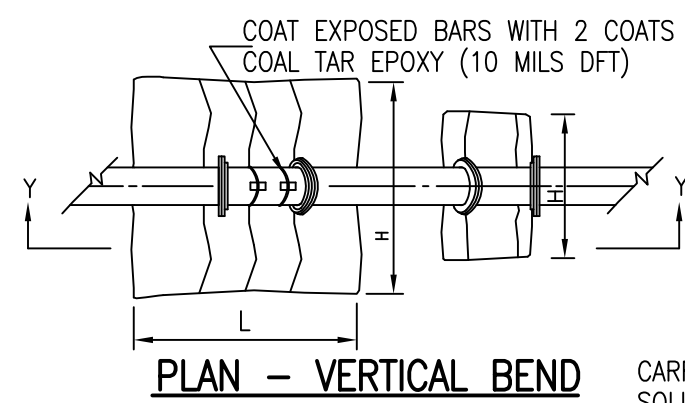
- GRANULAR CRADLE SHALL BE REQUIRED AT LOCATIONS INDICATED ON DRAWINGS OR AS NOTED HEREIN.
- GRANULAR CRADLE SHALL COMPLY WITH REQUIREMENTS OF:
  - ASTM D2321, CLASS I, II, OR III.
  - GRADATION SHALL COMPLY WITH STANDARD R&B SPECIFICATIONS, CA15 OR CA16 UNLESS OTHERWISE APPROVED BY ENGINEER, EXCEPT THAT MAXIMUM PARTICLE SIZE SHALL NOT EXCEED 1/2 IN. SHARP, ANGULAR PARTICLES THAT MAY CAUSE NOTCHING OF THE PIPE SHALL BE EXCLUDED.
- SELECT GRANULAR BACKFILL SHALL BE IDOT GRADATION FA-6 SAND.
- TRENCHES SHALL BE AS NARROW AS PRACTICAL FOR SAFE AND PROPER PIPE INSTALLATION. TRENCH SIDES SHALL BE VERTICAL TO A POINT 1' ABOVE TOP OF PIPE. ABOVE THAT POINT THE TRENCH SIDES MAY SLOPE AND SHALL COMPLY WITH OSHA AND OTHER REGULATIONS. THE CONTRACTOR SHALL ASSUME FULL LIABILITY AND RESPONSIBILITY FOR SAFE AND WORKMANLIKE EXECUTION OF THE WORK.
- FOR UNIT PRICE CONTRACTS:

QUANTITIES FOR THE ITEMS LISTED BELOW SHALL BE COMPUTED AS FOLLOWS:

- GRANULAR CRADLE
  - ACTUAL LENGTH & WIDTH OF EXCAVATION SHALL BE MEASURED EXCEPT MAX. WIDTH FOR PAYMENT PURPOSES SHALL NOT EXCEED THE LIMITS SHOWN IN TABLE 1.
  - THICKNESS SHALL BE BASED ON MINIMUM THICKNESS SHOWN IN TRENCH BACKFILL DETAILS.
- SELECT GRANULAR CRADLE
  - ACTUAL LENGTH & WIDTH OF EXCAVATION SHALL BE MEASURED EXCEPT MAX. WIDTH FOR PAYMENT PURPOSES SHALL NOT EXCEED THE LIMITS SHOWN IN TABLE 1.
  - THICKNESS SHALL BE MEASURED IN THE FIELD AT INTERVALS DETERMINED BY ENGINEER REPRESENTATIVE OF CHANGES IN DEPTH.
- PAVEMENT REPLACEMENT
  - ACTUAL LENGTH & WIDTH OF PAVEMENT REPLACEMENT EXCAVATION SHALL BE MEASURED, EXCEPT MAX. WIDTH FOR PAYMENT PURPOSES SHALL NOT EXCEED THE LIMITS SHOWN IN TABLE 1 & TRENCH BACKFILL DETAILS.
  - THICKNESS SHALL BE BASED ON MINIMUM THICKNESS SPECIFIED FOR THE PAVEMENT.
- STREET SURFACES SHALL BE COMPLETELY RESTORED OVER FULL WIDTH OF AREA DISTURBED BY CONSTRUCTION. COST OF COMPLETE RESTORATION SHALL BE INCLUDED IN UNIT PRICE BID FOR ITEMS WITHIN TRENCH WIDTH PAY LIMITS SHOWN ON THE PLANS, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

### THRUST BLOCK DIMENSION TABLE

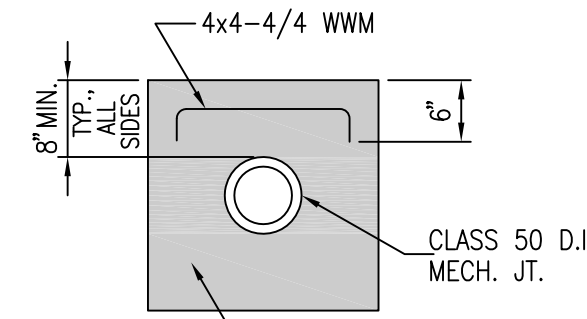
D	A	B	C	F	G	H	J	L
6" & SMALLER	8"	11"	1'-3"	8"	8"	2'-6"	2'-6"	3'-0"
8"	9"	1'-2"	1'-8"	10"	9"	3'-0"	2'-9"	4'-0"
10"	10"	1'-6"	2'-1"	1'-0"	1'-0"	4'-0"	3'-0"	4'-6"
12"	1'-0"	1'-10"	2'-6"	1'-3"	1'-0"	4'-6"	3'-6"	4'-9"
14"	1'-2"	2'-2"	3'-0"	1'-6"	1'-2"	5'-0"	3'-9"	6'-0"
16"	1'-3"	2'-4"	3'-4"	1'-8"	1'-4"	5'-2"	4'-0"	6'-6"
18"	2'-6"	3'-2"	5'-4"	1'-10"	2'-8"	5'-6"	4'-6"	7'-0"
20"	2'-10"	3'-6"	6'-0"	2'-0"	3'-0"	6'-0"	5'-0"	7'-8"



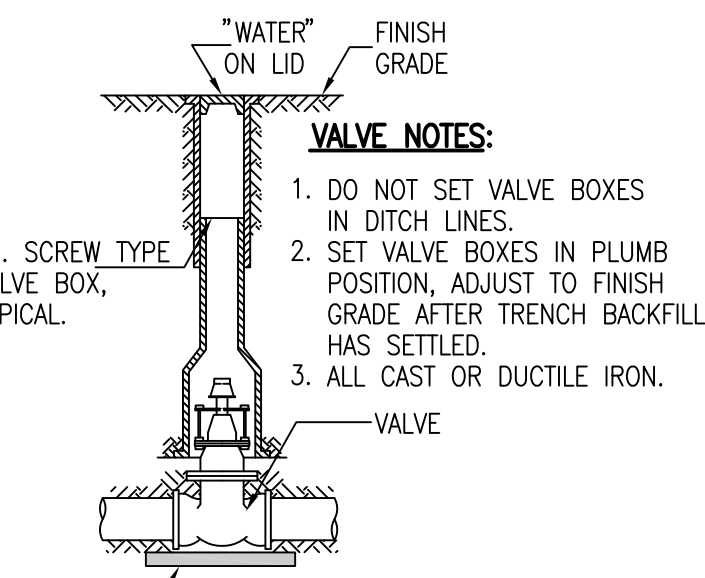
### SECTION Y-Y - HORIZONTAL BEND

### TYPICAL THRUST BLOCK INSTALLATIONS

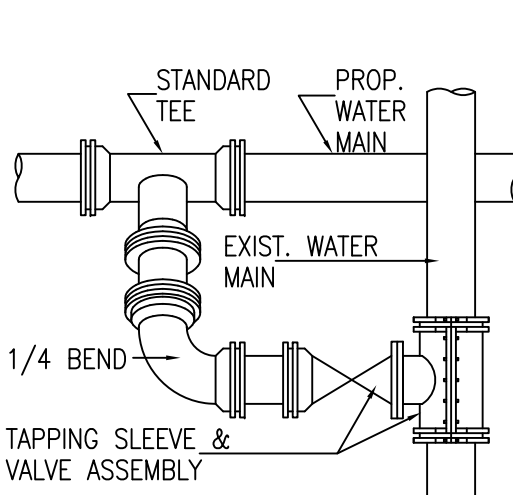
PIPE DIA.	MAX. TRENCH WIDTH AT & BELOW TOP OF PIPE
6"	3'-7"
8"	3'-9"
10"	4'-0"
12"	4'-2"
14"	4'-4"
16"	4'-6"
18"	4'-8"
20"	4'-11"
21"	5'-1"
24"	5'-4"
27"	5'-8"
30"	5'-9"



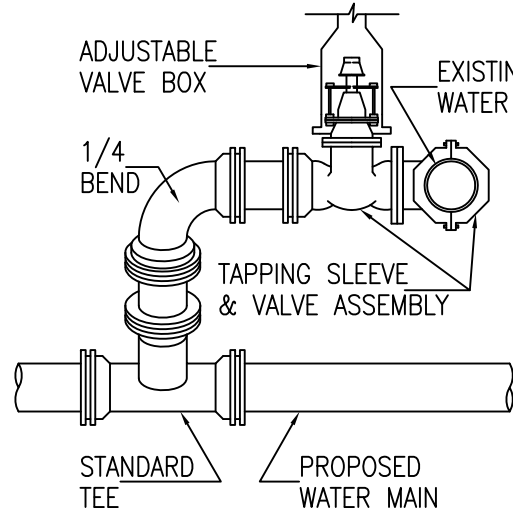
### CONCRETE ENCASEMENT DETAIL



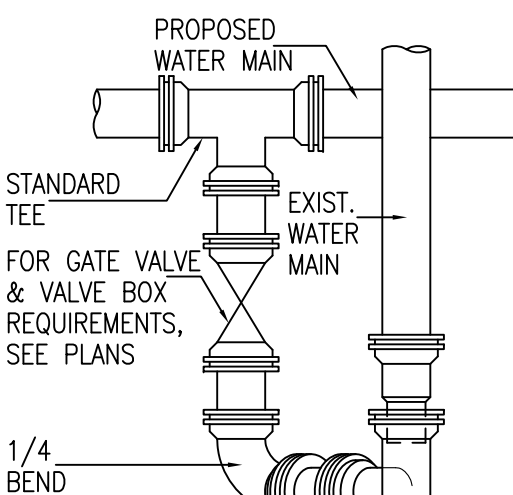
### TYPICAL VALVE BOX INSTALLATION



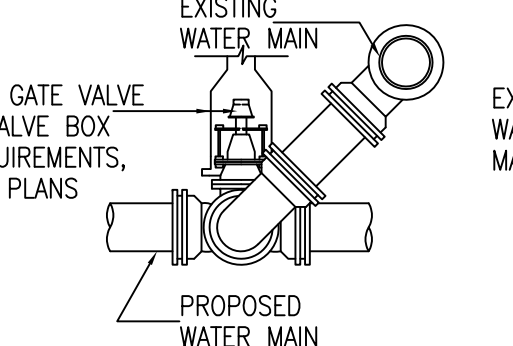
### PLAN - TYPE A



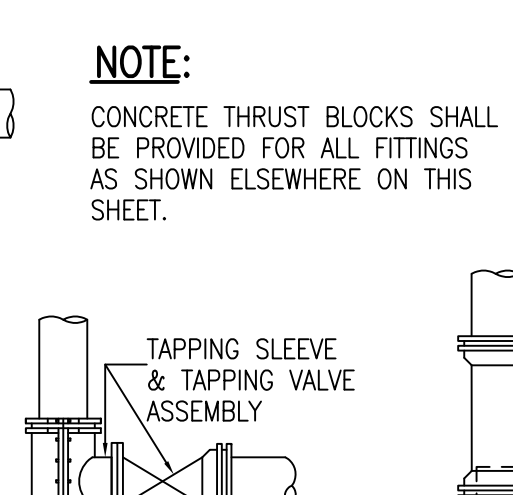
### PROFILE - TYPE A



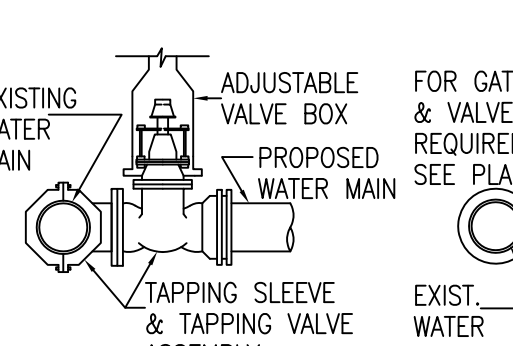
### PLAN - TYPE B



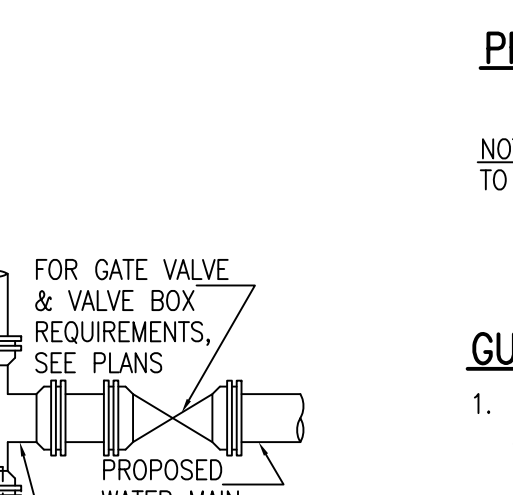
### PROFILE - TYPE B



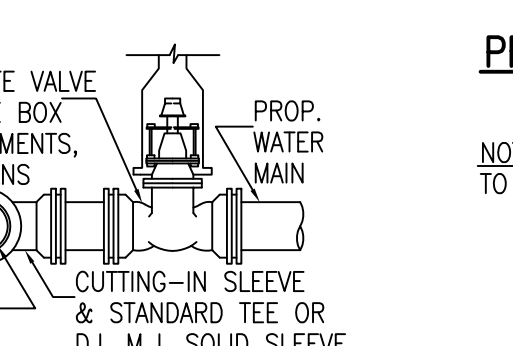
### PLAN - TYPE C



### PROFILE - TYPE C



### PLAN - TYPE D

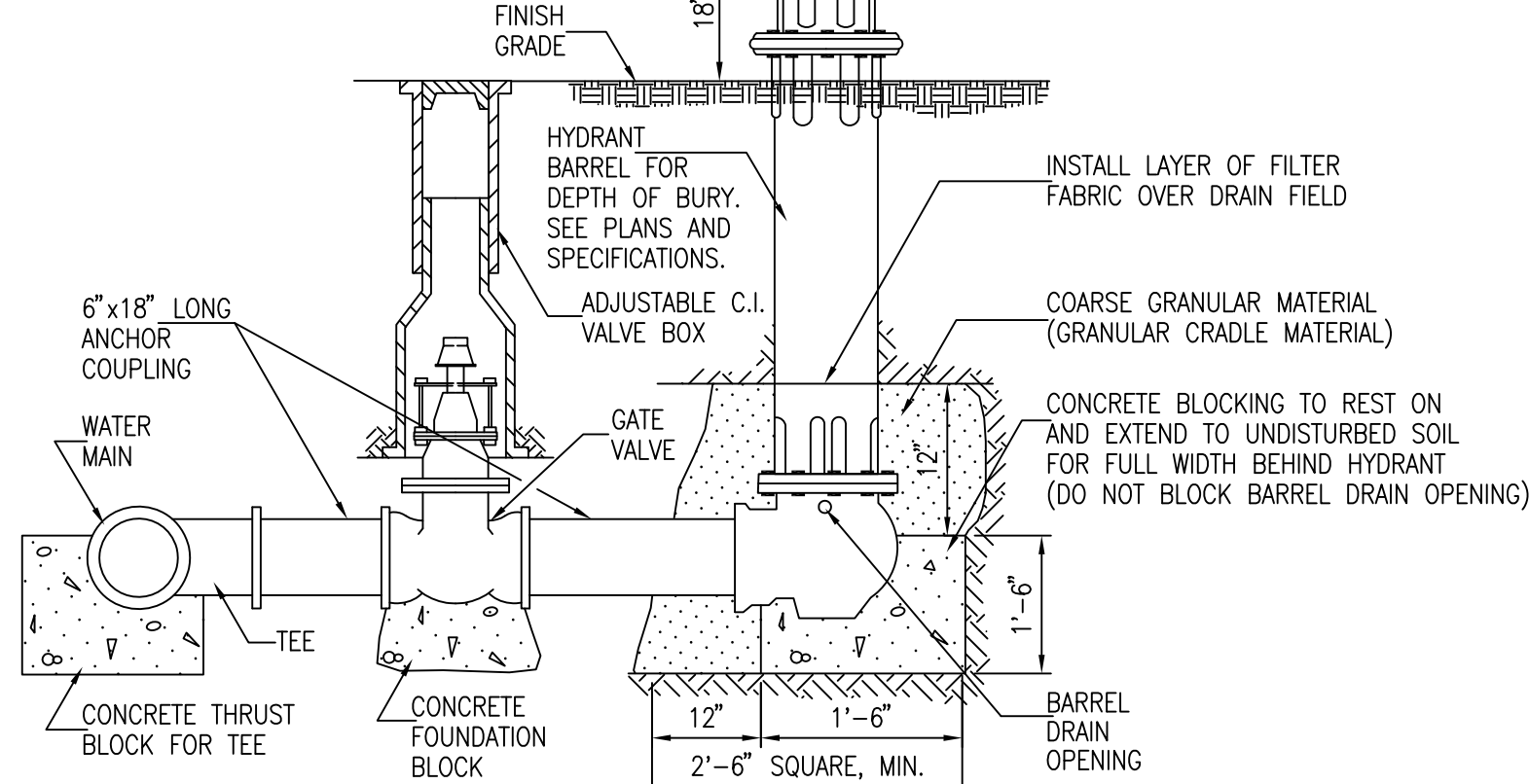


### PROFILE - TYPE D

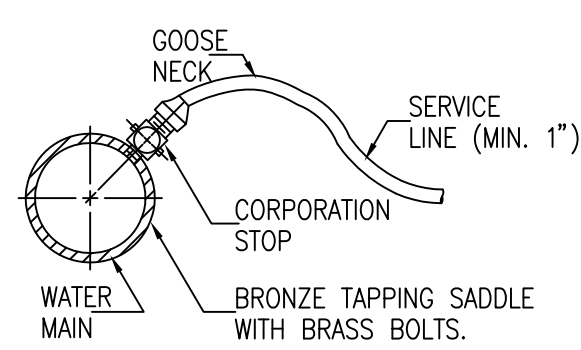
### INTERCONNECTION DETAILS

#### HYDRANT NOTES:

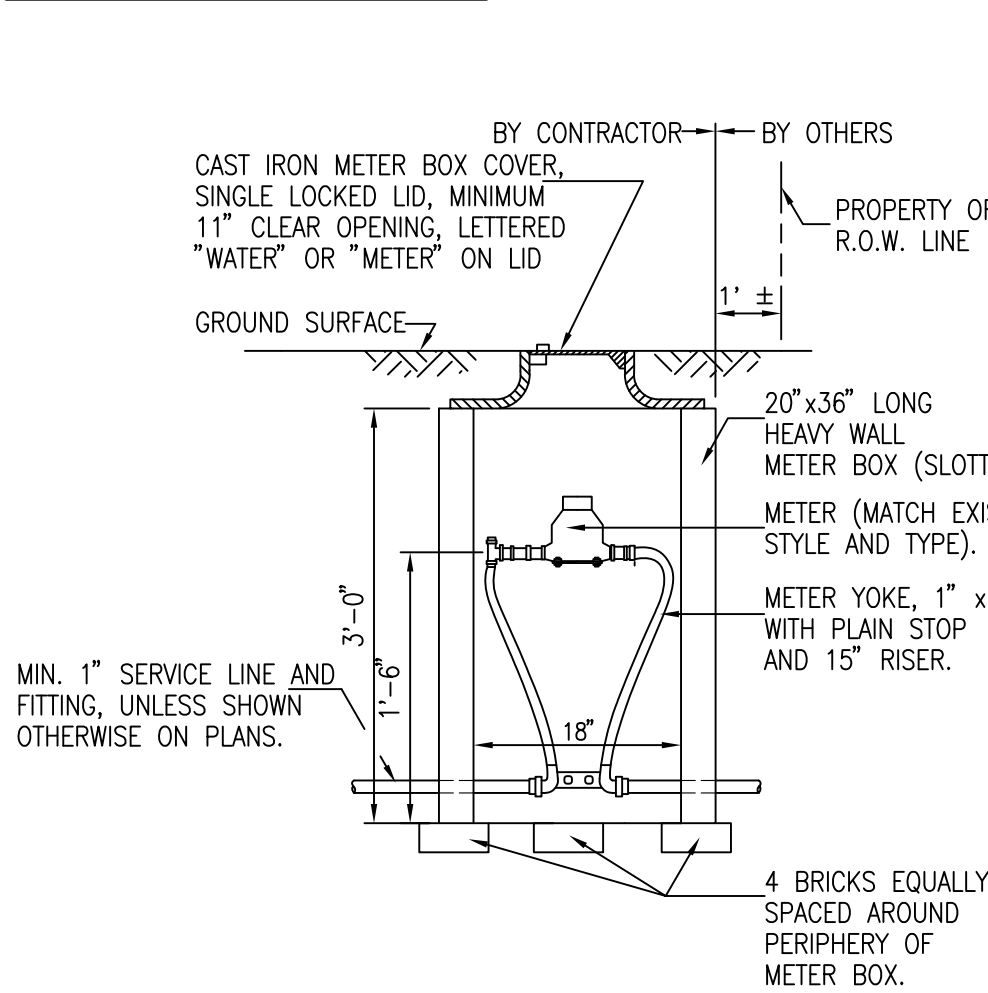
- SEE PLANS FOR HYDRANT SIZE/TYPE.
- SET HYDRANT SO THAT NOZZLES FACE STREET (ADJUST AS REQUIRED).
- SET HYDRANT BARREL IN PLUMB POSITION.
- HYDRANT AUXILIARY VALVE SHALL BE OPEN DURING PRESSURE TEST.
- BRING CHLORINE SOLUTION INTO CONTACT WITH HYDRANT BARREL TO ACCOMPLISH DISINFECTION.
- SET BREAK-AWAY FLANGE 2" TO 4" ABOVE FINAL GRADE OF GROUND.



### FIRE HYDRANT SETTING DETAIL



### SERVICE CONNECTION GOOSE NECK DETAIL



### TYPICAL METER INSTALLATION (OUTSIDE)

#### NOTE:

CONCRETE THRUST BLOCKS SHALL BE PROVIDED FOR ALL FITTINGS AS SHOWN ELSEWHERE ON THIS SHEET.

### PROPOSED WATER MAIN ABOVE EXISTING SEWER LINE WITH 18" MINIMUM SEPARATION.

NOTE: CLASS IV MATERIAL SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR MAXIMUM DENSITY.

#### GUIDELINES

- OMIT SELECT GRANULAR CRADLE AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF PIPE AND USE SELECT EXCAVATED MATERIAL (CLASS III) & COMPACT FOR 10 FEET ON EITHER SIDE OF SEWER LINE.
- IF SELECT GRANULAR BACKFILL EXISTS, REMOVE WITHIN WIDTH OF EXISTING SEWER LINE TRENCH & REPLACE WITH SELECT EXCAVATED MATERIAL (CLASS III) & COMPACT.

### PROPOSED WATER MAIN ABOVE EXISTING SEWER LINE WITH LESS THAN 18" SEPARATION.

NOTE: CLASS IV MATERIAL SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR MAXIMUM DENSITY.

#### GUIDELINES

- OMIT SELECT GRANULAR CRADLE AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF PIPE AND USE SELECT EXCAVATED MATERIAL (CLASS III) & COMPACT FOR 10 FEET ON EITHER SIDE OF SEWER LINE.
- IF SELECT GRANULAR BACKFILL EXISTS, REMOVE WITHIN WIDTH OF EXISTING SEWER LINE TRENCH & REPLACE WITH SELECT EXCAVATED MATERIAL (CLASS III) & COMPACT.
- USE A CASING FOR PROPOSED WATER MAIN AND SEAL ENDS OF CASING.
- POINT LOADS SHALL NOT BE ALLOWED BETWEEN WATER MAIN OR WATER MAIN CASING AND SEWER.

### PROPOSED WATER MAIN BELOW EXISTING SEWER LINE WITH 18" MINIMUM SEPARATION.

NOTE: CLASS IV MATERIAL SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR MAXIMUM DENSITY.

#### GUIDELINES

- OMIT SELECT GRANULAR CRADLE AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF PIPE AND USE SELECT EXCAVATED MATERIAL (CLASS III) & COMPACT FOR 10 FEET ON EITHER SIDE OF SEWER LINE.
- IF SELECT GRANULAR BACKFILL EXISTS, REMOVE WITHIN WIDTH OF EXISTING SEWER LINE TRENCH & REPLACE WITH SELECT EXCAVATED MATERIAL (CLASS III) & COMPACT.
- PROVIDE ADEQUATE SUPPORT FOR EXISTING SEWER LINE TO PREVENT DAMAGE DUE TO SETTLEMENT.
- USE A CASING FOR PROPOSED WATER MAIN AND SEAL ENDS OF CASING.

### WATER AND SEWER SEPARATION REQUIREMENTS (VERTICAL SEPARATION)

#### MINIMUM SEPARATION - WATER AND SEWER MAINS

##### VERTICAL SEPARATION - WATER MAINS AND SEWERS

- A WATER MAIN SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF 18 INCHES ABOVE THE CROWN OF THE DRAIN/SEWER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER/DRAIN CROSSED. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER/DRAIN.
- BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF MECHANICAL JOINT DUCTILE IRON PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION WHEN:
  - IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (1) ABOVE; OR
  - THE WATER MAIN PASSES UNDER A SEWER/DRAIN.
- A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER/DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER/DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATER MAIN, AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
- CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER/DRAIN LINE IS AT LEAST TEN FEET.

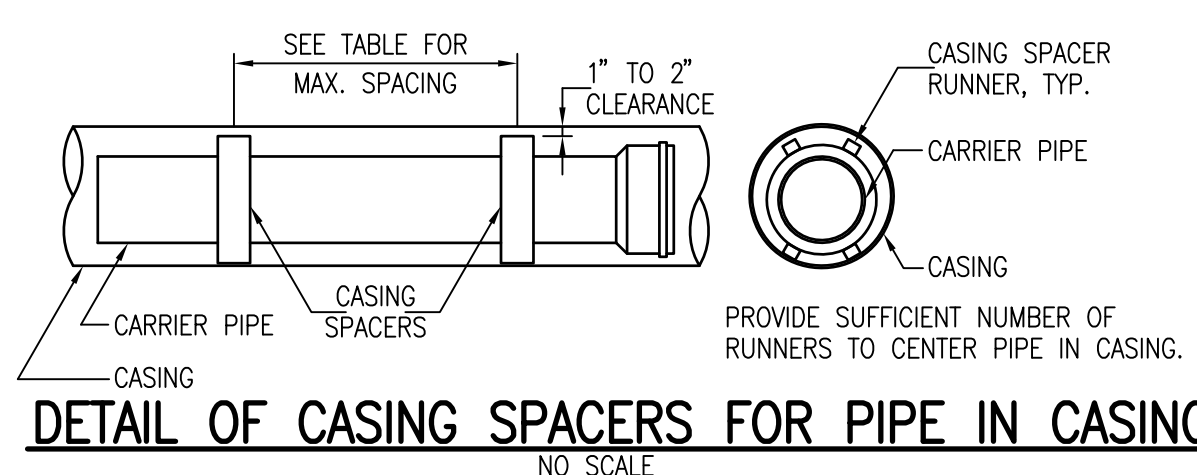
##### HORIZONTAL SEPARATION - WATER MAINS AND SEWERS

- WATER MAINS SHALL BE LOCATED AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER OR SERVICE CONNECTION.
- WATER MAINS MAY BE LOCATED CLOSER THAN TEN FEET TO A SEWER LINE WHEN:
  - LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET; AND
  - THE WATER MAIN INVERT IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND
  - THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
- WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE, BOTH THE WATER MAIN AND DRAIN/SEWER SHALL BE CONSTRUCTED OF MECHANICAL JOINT DUCTILE IRON PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION. THE DRAIN/SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.

### CASING SPACERS SPACING TABLES

NOMINAL WATER MAIN DIAMETER	MAXIMUM SKID SPACING
4"	4.7'
6"	6.3'
8"	7.4'
10"	8.5'
12"	9.6'
14"	10.0'
16"	10.0'
18"	10.0'
20"	10.0'
24"	10.0'
30"	10.0'
36"	10.0'

WHEN PIPE IS INSTALLED IN CASINGS, USE CASING SPACERS TO PREVENT DAMAGE TO PIPE AND BELL JOINTS DURING INSTALLATION AND TO PROVIDE PROPER LONG-TERM LINE SUPPORT. PIPE IN CASINGS SHALL NOT REST ON BELLS. CASING SPACERS SHALL PROPERLY POSITION THE PIPE IN THE CASING.



### DETAIL OF CASING SPACERS FOR PIPE IN CASING

### GENERAL NOTES:

- SEE PLANS AND SPECIFICATIONS FOR PIPE SIZE AND TYPE.
- DETAILS ON THIS SHEET ARE NOT DRAWN TO SCALE.
- DETAILS SHOWN ON THIS SHEET ILLUSTRATE THE ENGINEER'S INTENT. THE CONTRACTOR MAY ALTER THE ACTUAL CONSTRUCTION TO SUIT FIELD CONDITIONS PROVIDED THE ALTERNATIVES ARE APPROVED BY THE ENGINEER. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ANY CHANGES INSTIGATED BY THE CONTRACTOR.
- COST OF ALL FITTINGS REQUIRED TO ACCOMPLISH CONSTRUCTION SHALL BE INCLUDED WITH UNIT PRICE FOR PIPE, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- CONTRACTOR SHALL USE RUBBER STREET PADS ON BACKHOE FEET DURING ALL OPERATIONS ON THIS PROJECT.
- USE OF PVC VALVE BOXES SHALL NOT BE PERMITTED.

WATER MAIN IMPROVEMENTS  
F.Y. 2020  
CITY OF HIGHLAND, ILLINOIS

TYPICAL WATER  
MAIN DETAILS

**CA**  
urry & ASSOCIATES  
ENGINEERS INC

Revisions	Survey	SHEET
	Design	11
	Layout	OF
	Drawn	
	ALH	
	Checked	
	Plot Date	
	2-19-2020	
	Dwg File	
	19116-WTR	
	Date	Job No.
	DEC. 2019	2019.116



**Resolution for Maintenance  
Under the Illinois Highway Code**



Resolution Number	Resolution Type	Section Number
	Original	21-00000-00-GM

BE IT RESOLVED, by the \_\_\_\_\_ Council \_\_\_\_\_ of the \_\_\_\_\_ City \_\_\_\_\_ of  
Governing Body Type Local Public Agency Type  
 \_\_\_\_\_ Highland \_\_\_\_\_ Illinois that there is hereby appropriated the sum of \_\_\_\_\_  
Name of Local Public Agency  
 Six hundred sixty seven thousand and 00/100 \_\_\_\_\_ Dollars ( \$667,000.00 )

of Motor Fuel Tax funds for the purpose of maintaining streets and highways under the applicable provisions of Illinois Highway Code from  
 \_\_\_\_\_ 05/01/20 \_\_\_\_\_ to \_\_\_\_\_ 04/30/21 \_\_\_\_\_  
Beginning Date Ending Date

BE IT FURTHER RESOLVED, that only those operations as listed and described on the approved Estimate of Maintenance Costs, including supplemental or revised estimates approved in connection with this resolution, are eligible for maintenance with Motor Fuel Tax funds during the period as specified above.

BE IT FURTHER RESOLVED, that \_\_\_\_\_ City \_\_\_\_\_ of \_\_\_\_\_ Highland \_\_\_\_\_  
Local Public Agency Type Name of Local Public Agency  
 shall submit within three months after the end of the maintenance period as stated above, to the Department of Transportation, on forms available from the Department, a certified statement showing expenditures and the balances remaining in the funds authorized for expenditure by the Department under this appropriation, and

BE IT FURTHER RESOLVED, that the Clerk is hereby directed to transmit four (4) certified originals of this resolution to the district office of the Department of Transportation.

I \_\_\_\_\_ Mrs. Barbara Bellm \_\_\_\_\_ City \_\_\_\_\_ Clerk in and for said \_\_\_\_\_ City \_\_\_\_\_  
Name of Clerk Local Public Agency Type Local Public Agency Type  
 of \_\_\_\_\_ Highland \_\_\_\_\_ in the State of Illinois, and keeper of the records and files thereof, as  
Name of Local Public Agency

provided by statute, do hereby certify the foregoing to be a true, perfect and complete copy of a resolution adopted by the

\_\_\_\_\_ Council \_\_\_\_\_ of \_\_\_\_\_ Highland \_\_\_\_\_ at a meeting held on \_\_\_\_\_ 05/04/20 \_\_\_\_\_  
Governing Body Type Name of Local Public Agency Date

IN TESTIMONY WHEREOF, I have hereunto set my hand and seal this \_\_\_\_\_ day of \_\_\_\_\_  
Day Month, Year

(SEAL)

Clerk Signature

**APPROVED**

Regional Engineer  
Department of Transportation

Date

--	--





Estimate of Maintenance Costs

Submittal Type **Original**

Local Public Agency

County

Section Number

Maintenance Period  
Beginning

Ending

City of Highland

Madison

21-00000-00-GM

05/01/20

04/30/21

Maintenance Items

Maintenance Operation	Maint Eng Category	Insp. Req.	Material Categories/ Point of Delivery or Work Performed by an Outside Contractor	Unit	Quantity	Unit Cost	Cost	Total Maintenance Operation Cost
Snow Control			Treated Rock Salt	TON	1,700	\$73.00	\$124,100.00	\$124,100.00
			Grit (CM-13 slag)	TON	20	\$14.00	\$280.00	\$280.00
Pvmt. Repl.			PCC Pvmt, 6-bag	CY	60	\$125.00	\$7,500.00	
			PCC Pvmt, 7-bag	CY	60	\$130.00	\$7,800.00	
			Small Load Charge	EA	20	\$150.00	\$3,000.00	
			Reinforcing Bars, #6	LF	750	\$1.50	\$1,125.00	
			Expansion Material	LF	1,000	\$1.00	\$1,000.00	\$20,425.00
Pavement Patching			Bituminous Cold Patch	TON	155	\$135.00	\$20,925.00	
			Hot Mix Asphalt	TON	50	\$75.00	\$3,750.00	\$24,675.00
Signs			Stop, St., No Prk, Spd Lmt	EA	125	\$60.00	\$7,500.00	\$7,500.00
Base			CA-6 Aggregate	TON	1,000	\$9.00	\$9,000.00	
			CA-7 Aggregate	TON	600	\$12.50	\$7,500.00	\$16,500.00
Seal Coat Opr.			MC-800	TON	40	\$709.00	\$28,360.00	
			HFRS-2	TON	120	\$390.00	\$46,800.00	
			CM-13 slag Furn/Del	TON	1,400	\$24.00	\$33,600.00	
			CM-13 slag Haul/Sprd	TON	1,400	\$24.00	\$33,600.00	\$142,360.00
Pavement Marking			Yellow Paint	GAL	60	\$20.00	\$1,200.00	
			White Paint	GAL	175	\$20.00	\$3,500.00	\$4,700.00
Sidewalk Constr.			Remove & Replace		1	\$300,000.00	\$300,000.00	\$300,000.00
<b>Total Operation Cost</b>								<b>\$640,540.00</b>

Estimate of Maintenance Costs Summary

Maintenance	MFT Funds	Other Funds	Estimated Costs
Local Public Agency Labor			
Local Public Agency Equipment			
Materials/Contracts(Non Bid Items)	\$57,300.00		\$57,300.00
Materials/Deliver & Install/Request for Quotations (Bid Items)	\$283,240.00		\$283,240.00
Formal Contract (Bid Items)	\$300,000.00		\$300,000.00
<b>Maintenance Total</b>	<b>\$640,540.00</b>		<b>\$640,540.00</b>

Estimated Maintenance Eng Costs Summary

Maintenance Engineering	MFT Funds	Other Funds	Total Est Costs
Preliminary Engineering	\$22,000.00		\$22,000.00
Engineering Inspection			
Material Testing	\$3,000.00		\$3,000.00
Advertising			
Bridge Inspection Engineering			
<b>Maintenance Engineering Total</b>	<b>\$25,000.00</b>		<b>\$25,000.00</b>
<b>Total Estimated Maintenance</b>	<b>\$665,540.00</b>		<b>\$665,540.00</b>

Remarks

# Estimate of Maintenance Costs

Submittal Type

Local Public Agency	County	Section	Maintenance Period	
			Beginning	Ending
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## SUBMITTED

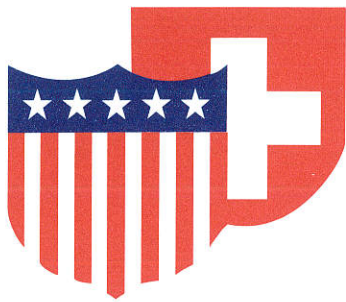
Local Public Agency Official	Date
<input type="text"/>	<input type="text"/>

Title

County Engineer/Superintendent of Highways	Date
<input type="text"/>	<input type="text"/>

## APPROVED

Regional Engineer Department of Transportation	Date
<input type="text"/>	<input type="text"/>



# City of Highland

**Memo to:** Mark Latham, City Manager  
**From:** Joe Gillespie, Director of Public Works  
**Date:** April 27, 2020  
**Subject:** Motor Fuel Tax (MFT) Section 21-00000-00-GM  
Recommendation for Approval

## RECOMMENDATION

I recommend that you request council approval to adopt the 2020-2021 Motor Fuel Tax Resolution and Municipal Estimate of Maintenance Costs for general maintenance materials as attached.

## DISCUSSION

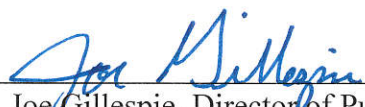
The State requires us to pass a resolution appropriating the estimated funds. The Municipal Estimate of Maintenance Costs form outlines our intended purchases for materials and is subject to their approval. It is similar to previous years with the exception of additional funds for sidewalk removal and replacement.

## FISCAL IMPACT

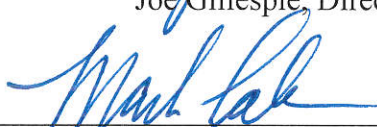
The materials are funded through Motor Fuel Tax from the state of Illinois.

## CONCURRENCE

Recommended by: \_\_\_\_\_

  
Joe Gillespie, Director of Public Works

Approved by: \_\_\_\_\_

  
Mark Latham, City Manager

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION AUTHORIZING AND APPROVING  
CITY MANAGER'S TOTAL COMPENSATION PACKAGE**

WHEREAS, the City of Highland, Madison County, Illinois (hereinafter "City"), is a non-home rule municipality duly established, existing and operating in accordance with the provisions of the Illinois Municipal Code (Section 5/1-1-1 et seq. of Chapter 65 of the Illinois Compiled Statutes); and

WHEREAS, City participates in the Illinois Municipal Retirement Fund ("IMRF"); and

WHEREAS, because City participates in the IMRF, City has the legal obligation to post information and approve any "total compensation package" equal to, or in excess of, \$150,000.00 for any City employee; and

WHEREAS, "total compensation package" includes salary, health insurance, housing, vehicle, clothing allowances, bonuses, loans, and vacation and sick days granted (*See* ILCS 120/7.3); and

WHEREAS, City has determined it has fulfilled its legal obligation, pursuant to IMRF, to post on the City's website City Manager Mark Latham's total compensation package at least six (6) days before approval; and

WHEREAS, City has determined it has fulfilled its legal obligation, pursuant to IMRF, to approve City Manager Mark Latham's total compensation package of \$160,021.40 by way of this Resolution; and

WHEREAS, City has determined it is in the best interests of public health, safety, general welfare and economic welfare to approve City Manager Mark Latham's total compensation package of \$160,021.40; and

WHEREAS, City has determined the City Manager and/or Mayor shall be authorized and directed to execute any documents necessary to approve City Manager Mark Latham's total compensation package of \$160,021.40.

**NOW, THEREFORE, BE IT RESOLVED**, by the City Council of the City of Highland as follows:

*Section 1.* The foregoing recitals are incorporated herein as findings of the City Council of the City of Highland, Illinois.

*Section 2.* City Manager Mark Latham's total compensation package of \$160,021.40 is approved.

*Section 3.* This Resolution shall be known as Resolution No. \_\_\_\_\_ and shall be effective upon its passage and approval in accordance with law.

Passed by the City Council of the City of Highland, Illinois, and deposited and filed in the Office of the City Clerk, on the \_\_\_\_\_ day of \_\_\_\_\_, 2020, the vote being taken by ayes and noes, and entered upon the legislative records, as follows:

AYES:

NOES:

APPROVED:

---

Joseph R. Michaelis  
Mayor  
City of Highland  
Madison County, Illinois

ATTEST:

---

Barbara Bellm  
City Clerk  
City of Highland  
Madison County, Illinois

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AUTHORIZING THE PURCHASE OF REAL ESTATE  
FROM DONALD L. SHIMER FOR  
POSSIBLE FUTURE CONSTRUCTION OF A PARKING LOT,  
ELIMINATION OF BLIGHT, AND/OR ANOTHER PUBLIC PURPOSE**

WHEREAS, the City of Highland, Madison County, Illinois (hereinafter “City”), is a non-home rule municipality duly established, existing and operating in accordance with the provisions of the Illinois Municipal Code (Section 5/1-1-1 et seq. of Chapter 65 of the Illinois Compiled Statutes); and

WHEREAS, City has the authority, pursuant to 65 ILCS 5/2-2-12, to purchase real estate for public purposes; and

WHEREAS, City has the authority, pursuant to 65 ILCS 5/2-2-12, to contract and be contracted with; and

WHEREAS, City has determined there is a public need for additional parking near City’s downtown business district, adjacent to City Hall, and near the City Fire Department / EMS Department; and

WHEREAS, City has determined all City residents and members of the general public would benefit from additional parking near City’s downtown business district, adjacent to City Hall, and near the City Fire Department / EMS Department; and

WHEREAS, City has determined there is a public need to eliminate blight near City’s downtown business district, adjacent to City Hall, and near the City Fire Department / EMS Department; and

WHEREAS, City has determined all City residents and members of the general public would benefit from the elimination of blight near City’s downtown business district, adjacent to City Hall, and near the City Fire Department / EMS Department; and

WHEREAS, City has determined there may be additional and unknown public needs near City's downtown business district; and

WHEREAS, for the possible construction of additional parking, the elimination of blight, and/or other possible public purposes, City has determined it to be in the best interest of public health, safety, general welfare, and economic welfare to purchase real estate from Donald Shimer at 1201 Broadway, Highland, Illinois 62249, PIN #: 01-2-24-05-08-201-040 (hereinafter "1201 Broadway") (*See* Real Estate Purchase Agreement for 1201 Broadway attached hereto as **Exhibit A**); and

WHEREAS, City has determined the purchase of 1201 Broadway, pursuant to **Exhibit A**, will benefit the public and serve a public purpose, the use of 1201 Broadway will be controlled by law, the title for 1201 Broadway will be held by City, the public will reap the benefit of public possession and use of 1201 Broadway, and all persons will have an equal right to use 1201 Broadway on the same terms as all other persons; and

WHEREAS, City has determined it to be in the best interest of public health, safety, general welfare and economic welfare to purchase 1201 Broadway for \$70,000.00 from Donald Shimer for the possible future construction of a parking lot, to eliminate blight, and/or for another public purpose, and pursuant to the terms of the signed contract attached hereto as **Exhibit A**; and

WHEREAS, City has determined 1201 Broadway was recently appraised for \$75,000.00 (*See* appraisal attached hereto as **Exhibit B**); and

WHEREAS, City has determined it to be in the best interest of public health, safety, general welfare and economic welfare to authorize the City Manager and/or Mayor to execute any documents necessary to complete the purchase of 1201 Broadway for \$70,000.00 from Donald Shimer for the possible future construction of a parking lot, to eliminate blight, and/or for another public purpose.

**NOW, THEREFORE, BE IT ORDAINED, by the City Council of the City of Highland as follows:**

*Section 1.* The foregoing recitals are incorporated herein as findings of the City Council of the City of Highland, Illinois.

*Section 2.* City has determined it to be in the best interest of public health, safety, general welfare and economic welfare to purchase 1201 Broadway for \$70,000.00 from Donald Shimer for the possible future construction of a parking lot, to eliminate blight, and/or for another public purpose, and pursuant to the terms of the signed contract attached hereto as **Exhibit A**.

*Section 3.* City has determined it to be in the best interest of public health, safety, general welfare and economic welfare to authorize the City Manager and/or Mayor to execute whatever documents may be necessary to purchase 1201 Broadway for \$70,000.00 from Donald Shimer

for the possible future construction of a parking lot, to eliminate blight, and/or for another public purpose, and pursuant to the terms of the signed contract attached hereto as **Exhibit A**.

*Section 4.* This Ordinance shall be known as Ordinance No. \_\_\_\_\_ and shall be effective upon its passage and approval in accordance with law.

Passed by the City Council of the City of Highland, Illinois, and deposited and filed in the Office of the City Clerk, on the \_\_\_\_\_ day of \_\_\_\_\_, 2020, the vote being taken by ayes and noes, and entered upon the legislative records, as follows:

AYES:

NOES:

APPROVED:

---

Joseph R. Michaelis, Mayor  
City of Highland  
Madison County, Illinois

ATTEST:

---

Barbara Bellm, City Clerk  
City of Highland  
Madison County, Illinois





# CONTRACT TO PURCHASE REAL ESTATE



This Contract has been prepared by legal counsel to Greater Gateway Association of REALTORS® and REALTOR® Association of Southwestern Illinois and is intended solely for use by REALTOR® members of the REALTOR® Association of Southwestern Illinois, Inc. and the Greater Gateway Association of REALTORS®, Inc. Any unauthorized use is strictly prohibited.

Date: 04/17/2020

THIS IS A LEGALLY BINDING CONTRACT; IF NOT UNDERSTOOD, SEEK COMPETENT LEGAL ADVICE.

**1. MUTUAL COVENANTS.** Seller agrees to sell and Buyer agrees to purchase the following described real estate, together with all appurtenances thereof upon the terms set forth in this Contract:

Legal Description:

Parcel Number 01-2-24-05-08-201-040 situated in Madison County, Illinois, commonly known as 1201 Broadway, Highland, IL 62249 with an approximate lot size of 50 X 90 ("Property")  
Mobile home N/A Model N/A ID# N/A

"Buyer" and "Seller" as used in this Contract shall mean those parties respectively set forth on the signature page hereof. For purposes hereof, this document and all approved addenda shall be referred to as the "Contract".

**2. DUAL AGENT.** The Parties confirm(s) that they have previously consented to the Designated Agent (designated on the last page of this Contract), acting as a dual agent in providing brokerage services on behalf and specifically consent(s) to such Designated Agent acting as a dual agent in regard to this transaction.

SELLER INITIALS D.S.

BUYER INITIALS C.H.

**3. OFFER AND ACCEPTANCE.** These terms shall constitute an offer, which shall expire on 04/29/20 12:38 PM CDT and any Earnest Money (hereafter defined) shall be returned, unless the offer is accepted on or before the Acceptance Deadline (hereafter defined). NO CONTRACT SHALL EXIST BETWEEN THE PARTIES UNLESS THIS CONTRACT AND ALL ADDENDA (INCLUDING COUNTER OFFERS) IS/ARE SIGNED BY BOTH BUYER AND SELLER. THE "EFFECTIVE DATE" OF THE CONTRACT SHALL BE THE LAST DATE THAT ALL PARTIES HAVE SIGNED THIS CONTRACT AND ALL ADDENDA (INCLUDING COUNTER OFFERS, IF ANY).

**4. TENANCY.** No less than ten (10) days prior to closing date, the Buyer shall direct how title shall be taken.

**5. PURCHASE PRICE.** \$70,000. ("Purchase Price") \$0 ("Earnest Money") to be deposited within ( ) days after Effective date and to be held in the escrow account of ( ), escrow agent, for disposition in accordance with this Contract and as required by law.

**6. HOME WARRANTY PLAN.** Homeowner's warranty Contract ☒ waived ☐ provided by: ☐ Seller ☐ Buyer from ( ) not to exceed the cost of \$ ( ). The Parties are advised that one of the real estate agencies may receive compensation, from the company issuing the Homeowner's warranty contract for services rendered on behalf of the Seller and/or Buyer.

**7. INCLUSIONS/EXCLUSIONS.** The following ITEMS, only if present in the Property, are included in the sale and are the exclusive property of the Seller, having been paid in full:

Above Ground Swimming Pool & Equipment	Carpeting	Gas Grill (attached)	Smoke Alarm
All Bathroom Mirrors	Central Vacuum/Attachments	Gas Logs	Storm Doors/Windows
All Ceiling Fans	Curtain Rods	HVAC System	Sump Pump
Attached Mirrors	Exterior Gas or Electric Lights	Light Fixtures	Television Antenna
Attic Fan	Fences	Plants & Shrubbery	Utility Shed
Awnings	Fireplace Screens/Doors	Satellite Dish	Ventilating Fans
Blinds/Shades/Shutters	Fuel Tank	Screens	Wall Mounts/Brackets
Built-in Appliances	Garage Door Opener & All Remotes	Security System	Water Heater
			Water Softening System

For additional inclusions see the Addendum for Personal Property.

The following items are excluded:

SELLER(S) INITIALS D.S.

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BUYER(S) INITIALS C.H.

8. **CLOSING AND POSSESSION.** The "Closing" or "Closing Date" is the day on which the Parties have fulfilled their obligations under the Contract, including instruments necessary to convey title and the deposit of the Purchase Price for disbursement to the Seller. The Closing under this Contract shall take place on or before 05/08/2020 at the office of the title company or insured escrow agent ("Closing Agent" or "Title Company") as chosen by the Seller, subject to the provisions of this Contract. ***Except as may be provided by Addendum, Seller shall deliver possession and keys to the Property to the Buyer no later than the time of Closing.*** Seller agrees to leave the Property in broom clean condition, free of all litter, trash and/or debris, and to remove all personal property not sold to Buyer. Buyer and Seller authorize the Closing Agent to release to the real estate agent(s) signed copies of the HUD/RESPA statement, including both Buyer and Seller information. Seller grants Buyer and Buyer's Designated Agent the right to enter and "walk through" the Property and the right to have utilities turned on or transferred, at Buyer's expense, ***within four (4) days prior to Closing.*** The purpose of the "walk through" is for the Buyer and Buyer's inspector and/or contractors to verify that the Property is in the same general condition it was as of the Effective Date of this Contract and the agreed upon repairs, if any, were completed in a workmanlike manner. Waiver of inspections herein does not waive the right to a "walk through" prior to Closing.

9. **FINANCING CONTINGENCY.**

☐ **Mortgage Loan.** This Contract is contingent upon Buyer obtaining a mortgage loan commitment with a Loan Amount: \_\_\_\_\_ % of the Purchase Price; Initial annual interest rate not greater than: \_\_\_\_\_ % for a term no less than \_\_\_\_\_ years amortized over \_\_\_\_\_ years.

Seller agrees to pay up to \$ \_\_\_\_\_ of Buyer's loan Closing costs, prepaid expenses, origination fee and discount costs (points). Pre-approval letter from Buyer's lender ☐ attached or ☐ shall be submitted to Seller by \_\_\_\_\_ (date) ("Pre-Approval Deadline"). If the Buyer does not provide a written pre-approval letter by the Pre-Approval Deadline, Seller may terminate this Contract by delivery of a Termination Notice ***within five (5) days*** after such Pre-Approval Deadline. Failure of Seller to timely deliver such Termination Notice shall be considered a waiver of Seller's rights to receive the Pre-Approval Letter. For Termination Procedure see Paragraph 37.

The Buyer must satisfy the balance of the obligations set forth in this Paragraph 9 Financing Contingency within \_\_\_\_\_ days after the Effective Date or ten (10) days prior to the Closing Date (whichever date is earlier), subject to Seller's acceptance of Loan predications ("Finance Contingency Deadline").

**Buyer is required to immediately apply for the financing indicated above and may not rely on any other contingency in this Contract or Addenda to this Contract to delay such application. Buyer shall use due diligence and good faith in obtaining such financing or assumption and in serving upon Seller written evidence of a commitment for same (i.e.: all appraisals completed, no sale of other property unless provided by addendum) ("Loan Commitment").** If Buyer has been unable to obtain a Loan Commitment and has served a copy of a written statement by the lender of such inability upon the Seller by the Finance Contingency Deadline, the Buyer may terminate this Contract by service of the Termination Notice on the Seller on or before such Finance Contingency Deadline. If Buyer has not served upon Seller written evidence of a Loan Commitment on or before the Finance Contingency Deadline Seller may, ***within five (5) days*** after the Finance Contingency Deadline, terminate this Contract by service of the Termination Notice on Buyer. For Termination Procedure see Paragraph 37. The Parties herein grant to the Buyer's lender the permission and authority to disclose information concerning the status of the loan (such as additional requirements or predications) to the respective Designated Agents.

**The Parties are cautioned that inspection/repairs to the Property may be a requirement for any loan.** Buyer agrees to accept the financial responsibility for any and all inspections, which may be required by the lender whether, said inspection is for, but not limited to, heating systems, cooling systems, roof condition, well(s), and/or septic systems(s) and/or the total cost of any survey.

TYPE: ☐ CNV. ☐ FHA ☐ Rural Dev. ☐ VA ☐ Other \_\_\_\_\_ (Insert appropriate Letter C, D, E or F)

(A) **FHA/Rural Development Mortgage Loan.** If either the "FHA or Rural Development Mortgage Loan" box is marked, then this Contract is contingent upon Buyer securing a commitment for a FHA or Rural Development mortgage loan based upon the Purchase Price as stated in this Contract, no greater than the Loan Terms as stated above. It is expressly agreed that notwithstanding any other provision of this Contract, the Buyer shall not be obligated to complete the purchase of the Property described herein or to incur any penalty for forfeiture of Earnest Money or otherwise unless the lender has delivered to the Buyer a written statement issued by the Federal Housing Commissioner or a Direct Endorsement lender or governing Rural Development authority setting the appraised value of the Property (excluding closing costs) of not less than the Purchase Price, which statement the lender (by

SELLER(S) INITIALS DS

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BUYER(S) INITIALS CH

regulation) hereby agrees to deliver to the Buyer promptly after such appraised value statement is made available to the lender. The buyer shall, however, have the privilege and option of proceeding with consummation of this Contract without regard to the amount of the appraised valuation. The appraised valuation is arrived at to determine the maximum mortgage amount the Department of Housing and Urban Development ("HUD") will insure. HUD does not warrant the value or the condition of the Property. The Buyer should satisfy himself that the Purchase Price and the condition of the Property are acceptable. The Parties will sign the FHA Real Estate Certification forms or Rural Development forms required for all FHA/Rural Development mortgages promptly upon receipt of the forms for certification from the lender.

(B) **VA Mortgage Loan.** If the "VA Mortgage Loan" box is marked above, then this Contract is contingent upon Buyer securing a commitment for a VA mortgage loan (excluding closing costs), which is not less than the Purchase Price of the Property as stated in this Contract plus charges to be paid by Seller; and no greater than the Loan Terms as stated above. Buyer shall not incur any penalty by forfeiture of Earnest Money or otherwise be obligated to complete the purchase of the Property described herein, if the Purchase Price or cost exceeds the reasonable value of the Property established by the Veterans Administration. The Buyer shall, however, have the privilege and option of proceeding with consummation of the Contract without regard to the amount of the reasonable value established by the Veterans Administration. If the Veterans Administration issues a certificate of reasonable value in an amount less than the Purchase Price of this Contract, Seller shall have the option, ***within ten (10) days*** after receipt of a copy from Buyer of such certificate of reasonable value, to reduce the Purchase Price to the amount specified therein, or to declare the Contract terminated by delivery of the Termination Notice to the Buyer, which includes a release of Earnest Money to the Buyer. For Termination Procedure see Paragraph 37. **Notwithstanding anything in this Contract to the Contrary, if current Veterans Administration Regulations require the Seller to pay for the wood infestation report required by Paragraph 12 of this Contract, such report must be paid by Seller.**

(C) **Mortgage Assumption.** If the "Other" box is marked with the Letter C, this Contract is contingent upon Buyer, at Buyer's expense obtaining the lenders' consent, if necessary, to Buyer's assumption of Seller's mortgage, and Contract to pay the existing real estate mortgage loan with an approximate balance of \$\_\_\_\_\_ with an interest rate of not greater than \_\_\_\_\_% per annum, and with a transfer fee of no more than \$\_\_\_\_\_ or \_\_\_\_\_% of loan amount. Seller agrees to permit such assumption ☐ WITH ☐ WITHOUT (check one) release of Seller's obligations. Interest, and other loan expenses, shall be prorated as of Closing. If allowed by Seller's lender, any tax or insurance escrow shall be assigned to Buyer and paid for by Buyer at Closing.

(D) **Purchase Money Mortgage (Seller Financing).** If the "Other" box is marked with the Letter D, this Contract is contingent upon the Buyer obtaining a mortgage from Seller on the Loan Terms indicated above. Seller's attorney to prepare the necessary documents, at Buyer's cost and expense, for this transaction and the Parties must agree on the form of same on or before the Finance Contingency Deadline. In the event the parties cannot so agree, either party may terminate this Contract. For Termination Procedure see Paragraph 37.

(E) **Secondary Mortgage Loan.** If the "Other" box is marked with the Letter E, this Contract is contingent upon the Buyer obtaining a second mortgage or bridge loan commitment for \_\_\_\_\_% of the Purchase Price from \_\_\_\_\_ at an initial rate not greater than \_\_\_\_\_%, for terms not less than \_\_\_\_\_ years amortized over \_\_\_\_\_ years with the loan origination fee (points to Buyer) not greater than \_\_\_\_\_% of the loan amount secured by ☐ this Property and/or ☐ other Property, \_\_\_\_\_ (address).

(F) **Contract for Deed.** If the "Other" box is marked with the Letter F, the Seller shall prepare the necessary documents, at Buyer's cost and expense, for this transaction and the Parties must agree on the form of same on or before the Finance Contingency Deadline. Contract for Deed Addendum is attached. For Termination Procedure see Paragraph 37.

☒ **Cash Transaction.** This Contract is not contingent on financing. Buyer shall provide to Seller written evidence of funds available to Close ***on or before twenty (20) days after Effective Date but no later than ten (10) days prior to Closing, whichever is earlier.*** If Buyer fails to provide written evidence of funds as stated in the prior sentence, Seller may, at its option, and ***within five (5) days*** of Buyer's failure to so provide, terminate the Contract by service of Termination Notice to Buyer. For Termination Procedure see Paragraph 37.

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BUYER(S) INITIALS

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10. **APPRAISAL.** If the Buyer or the Lender elects to have an appraisal, such appraisal must be obtained ***no later than the Finance Contingency Deadline***, or if this Contract is a cash transaction (as provided in Paragraph 9), Buyer at Buyer's option and expense may obtain an appraisal by a certified or licensed appraiser ***within twenty (20) days after the Effective Date***. If the appraisal report indicates that the appraised value is not equal to or higher than the Purchase Price, Buyer shall have the option to deliver a copy of the appraisal to the Seller within ***two (2) days after it is available to Buyer requesting an adjustment to the Purchase Price***. If Seller does not agree to adjust the Purchase Price down to the appraised value ***within five (5) days after Seller's receipt of the appraisal report***, Buyer at Buyer's option may terminate the Contract by delivery of a Termination Notice to Seller ***within two (2) days following the aforementioned five (5) day period***. For Termination Procedure see Paragraph 37. Nothing herein shall prevent Buyer and Seller from reaching a negotiated Purchase Price adjustment prior to the termination of the Contract. If Buyer is basing offer on square footage, measurements or boundaries, Buyer shall have those items independently measured to verify any reported information.

11. **PROPERTY INSPECTION CONTINGENCY.** Subject to the terms of Paragraph 11, Buyer and Seller agree that the Property is being sold in its present, "AS IS" condition, with no warranties, expressed or implied, and that conditions of the Property that are visible on a reasonable inspection by the Buyer should either be taken into account by the Buyer in the Purchase Price, or the Buyer should make the correction of these conditions by Seller a requirement of the Contract; this provision shall survive Closing and delivery of Seller's deed to the Buyer.

(A) **DUE DILIGENCE.** The Parties also acknowledge that the real estate agents and agencies involved in this transaction have no special training or experience with respect to the many structural and environmental aspects of the Property, or with discovering and/or evaluating defects, including, but not limited to, structural defects, roof, basement, mechanical equipment, radon gas, lead based paint hazards, public or private sewer systems, septic systems, wells, mold and mold infestation, plumbing, asbestos, exterior drainage, termite or other type of wood destroying insect infestation or damage. Buyer acknowledges that he will carefully inspect the Property or has been offered the right to have the Property inspected. Buyer also agrees to verify and inspect any defects listed on the Residential Real Property Disclosure Report or the Lead Based Paint Disclosure, Mold Disclosure, if applicable, that are important to Buyer by an independent investigation. Buyer acknowledges that neither Seller nor any real estate agent(s) is an expert at detecting or repairing physical defects in the Property. Buyer states that no important representations concerning the condition of the Property are being relied upon by Buyer, except as disclosed in writing or as fully set forth herein.

**PAINTING, DECORATING OR OTHER ITEMS OF A COSMETIC NATURE, REGARDLESS OF THE COST TO REMEDY, SHALL NOT CONSTITUTE A DEFECT FOR THE PURPOSE OF THIS PROPERTY INSPECTION CONTINGENCY.**

(B) **TIME FRAME.** ***Within twenty (20) days after the Effective Date or ten (10) days prior to the Closing Date, (whichever date is earlier)***, Buyer, at Buyer's option and expense, may obtain written inspection reports from qualified engineers, licensed home inspection services, licensed contractors, environmental, and/or utility companies of the Property and improvements limited to latent defects, structural defects, water intrusion, environmental hazards and damage (including but not limited to, subsidence, undermining, settling, known existing or past mold presence, asbestos, lead and/or lead paint, radon gas, dioxin, and storage of hazardous chemicals—other than those specifically set forth in writing in this Contract), plumbing, water (e.g. source of household water, irrigation, water treatment system, sprinkler system) wells, sewer drainage, basement leaks and mechanical equipment, including appliances, and shall furnish a copy thereof and the Inspection Response to Seller stating in writing any defects unacceptable to Buyer. Failure of Buyer to serve the Inspection Response to the Seller within such time shall waive the contingency. ***If the Buyer, at any time, desires to waive the inspection(s), the Buyer must sign the inspection waiver, waiving the inspection(s) and deliver said inspection waiver to the Seller.*** Seller agrees, at Seller's expense, to have all utilities turned on during the period required for the inspection herein, and to make the Property available for inspections on reasonable notice.

(C) **ENVIRONMENTAL DEFECT.** For purposes of this Paragraph an environmental defect is a toxic or hazardous substance at a level and condition found above those set as acceptable by the United States Environmental Protection Agency, the Illinois Environmental Protection Agency, the Illinois Emergency Management Agency or applicable local governmental agency. If the stated defect is any toxic or hazardous substance, then Seller, at Seller's option and expense, may have the substance remediated, removed, or reduced to an acceptable level prior to Closing. Buyer, at Buyer's option and expense, is responsible for re-inspection of the remediation and proof of re-inspection by the same inspector(s) as previously used or by similarly qualified inspector(s). Buyer, at Buyer's sole discretion, may accept the plan of remediation, terminate this Contract, or allow the Seller to escrow one and one half (1 ½) times the amount of the bid or written estimate, as determined by the Buyer, of such environmental repair(s) at closing. In the event either Seller or Buyer elects to terminate the Contract due to an environmental defect as provided herein, the non-terminating Party shall be obligated to sign the document terminating this Contract, and the Earnest Money shall be refunded to buyer. For Termination Procedure see Paragraph 37.

(D) **STRUCTURAL DEFECT.** If the stated defect is a structural defect in the foundation, footings, roof construction, sheathing (excluding flashing and coverings), or load-bearing walls that affects the structural integrity of any improvements, Buyer must have a licensed structural engineer report, and

SELLER(S) INITIALS

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BUYER(S) INITIALS

04/29/20

provide the Seller a copy of report. Buyer, at Buyer's option and expense, is responsible for re-inspection of the remediation and proof of re-inspection by the same inspector(s) as previously used or by similarly qualified inspector(s). Buyer, at Buyer's sole discretion, may accept the plan of remediation, terminate this Contract, or allow the Seller to escrow one and one half (1 ½) times the amount of the bid or written estimate, as determined by the Buyer, of such structural repair(s) at closing. In the event either Seller or Buyer elects to terminate the Contract due to a structural defect as provided herein, the non-terminating Party shall be obligated to sign the document terminating this Contract, and the Earnest Money shall be refunded to buyer. For Termination Procedure see Paragraph 37.

(E) **INSPECTION REMEDIES.** If the Contract is not declared terminated pursuant to Paragraph C Environmental Defect or Paragraph D Structural Defect as described above, and the Buyer has delivered Buyer's Inspection Response within the timeframe of "B" above to the Seller, then Buyer and Seller shall have **ten (10) days after Seller's receipt of the Inspection Response in which to reach an agreement in writing for the repair of such defects by the Closing Date, including, but not limited to:**

- (a) Who shall pay a specific portion of such repairs and the individual contractors who will do the work, or
- (b) An agreed monetary adjustment at Closing in lieu of the correction of defects, or
- (c) Terms which include who shall pay and what contractors will do a portion of the work together with an agreed monetary adjustment at closing.

(Note: A monetary adjustment may affect the terms of Buyer's loan, e.g. down payment, interest rate and private mortgage insurance).

If no written agreement is reached within **said ten (10) days**, then either party may terminate this Contract by delivery of a Termination Notice to the other party. Notwithstanding the previous sentence, **within the ten (10) day period**, the Seller's written commitment to correct all the non-structural defects at Seller's expense prior to Closing or the Buyer's written commitment to accept the Property without correction of the defects shall also constitute an "agreement" for purposes of this Paragraph, even if earlier negotiations failed to produce an agreement. In the event of termination, Buyer must show proof of payment to all inspectors prior to release of the Earnest Money. For Termination Procedure see Paragraph 37.

(F) **LIABILITY DISCLAIMER.** The real estate agent(s) shall not be liable in any way for damages incurred pertaining to which inspector or inspectors are chosen to conduct the inspection, the results of any inspections or findings of any Parties in connection with an inspection, or the expense of any party in connection with this or any other provision forming part of this Contract. Seller warrants that as of the date the Contract was signed, Seller has not received any written notification from any governmental agency requesting any repairs, replacements or alterations to the Property, which have not been satisfactorily made or disclosed to the Buyer in writing and will promptly inform Buyer of any such notice received prior to closing.

12. **WOOD INFESTATION REPORT.** *No later than ten (10) days prior to Closing, the Buyer*, at Buyer's option and expense (if a VA Mortgage Loan and required by the VA, at Seller's expense) may obtain a wood infestation and/or termite report from a licensed inspection service ("Insect Report") **chosen by the Buyer**. Should the Insect Report disclose either active infestation or substantial (not merely cosmetic) damage as a result of such existing or former infestation by termites or other wood-destroying insects about which there is no evidence of prior professional treatment, the Buyer may serve an Inspection Response on the Seller **within two (2) days after Buyer has received said Insect Report** requesting the Seller to remediate the concern raised in the Insect Report. The Seller shall, **within five (5) days after receipt of same ("Seller's Deadline")**, notify the Buyer of Seller's plan to correct such infestation and/or damage or other options as stated in the Inspection Response. If Seller fails to respond, or Buyer rejects Seller's plan, the Buyer may terminate the Contract by delivery to Seller of a Termination Notice. For Termination Procedure see Paragraph 37. The Buyer, however, shall have the sole option to accept the Property in its condition for treatment and repair of the damage, which option the Buyer may accept **within two (2) days after the expiration of Seller's Deadline, or by the Closing Date, whichever date is earlier**. If the Buyer fails to accept the Seller's plan or the parties fail to negotiate a mutually acceptable plan **within two (2) days after the expiration of Seller's Deadline or by the Closing Date**, whichever is earlier, Seller may terminate this Contract and Buyer shall be entitled to a refund of Earnest Money. For the Termination Procedure see Paragraph 37. None of the real estate agents working with the parties shall be responsible in any way with respect to the findings disclosed in such Insect Report, nor for the procurement for the Insect Report, nor for the delivery of or responses to the Insect Report to either of the Parties, and have made no representations concerning prior report or inspections. Further, Buyer acknowledges that the real estate agents hereby state that the responsibility for inspection of the Property for termite or wood destroying insects is the obligation of the Buyer, and by executing this Contract, Buyer accepts said obligation without any recourse whatsoever against the real estate agents.

13. **GOVERNMENTAL INSPECTIONS AND OCCUPANCY PERMIT.** Municipalities and governmental bodies (including the health department for septic and/or aeration system inspection) vary in their occupancy requirements, which include, without limitation, the time for applying for the permit, the number of occupants permitted, and the requirement that both Buyer and the Seller receive authorization to occupy the Property

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273 ("Occupancy Regulation(s)" or "Occupancy Permit").

274 If Seller is required to order an occupancy inspection and comply with all Governmental requirements of the  
 275 Seller, Seller agrees to request same, at Seller's expense, promptly after the Effective Date. If not specified by  
 276 Governmental requirements, then Seller will not be required to obtain occupancy inspection. If the Buyer is  
 277 required to apply for an Occupancy Permit, Buyer shall apply for the Occupancy Permit within a reasonable time  
 278 after the Seller has requested an occupancy inspection and shall obtain the Occupancy Permit, per Governmental  
 279 requirements. Occupancy Regulation(s) must be actually complied with prior to Closing.

280 In the event the Property does not meet such Occupancy Regulation(s) or pass such occupancy inspection and  
 281 Seller notifies Buyer in writing within **seven (7) days after date of receipt of the occupancy inspection report**  
 282 **from the applicable governmental authority**, that Seller has not agreed to make the corrections, Buyer and  
 283 Seller shall have **ten (10) days after date of Buyer's receipt of the Seller's notice to reach an agreement** as to  
 284 who will complete and pay for the required corrections, or to an agreed monetary adjustment at Closing in lieu  
 285 of any correction. (Note: A monetary adjustment may affect the terms of Buyer's loan, e.g. loan approval, down  
 286 payment, interest rate, and private mortgage insurance, and lack of an Occupancy Permit at Closing may also  
 287 affect Buyer's ability to obtain an occupancy permit in the future and utility service.)

288 If no written agreement is reached within **said ten (10) days**, either party may terminate this Contract. For  
 289 Termination Procedure see Paragraph 37. A written commitment by Seller within **said ten (10) day period** to  
 290 make all the required corrections, at Seller's expense, prior to Closing, or a written commitment within the **said**  
 291 **ten (10) day period** by Buyer to accept the Property without the correction or repair (if permitted by Occupancy  
 292 Regulation(s)) shall constitute an "agreement" for purposes of this Paragraph, even after earlier negotiations  
 293 failed to produce such an agreement.

294 **Buyer is cautioned not to rely on the Occupancy Regulation(s), but should also satisfy himself/herself**  
 295 **otherwise as to the condition of the Property.**

296 **14. ACCESS TO PROPERTY.** Seller agrees to permit access to the Property by governmental inspectors, contractors,  
 297 pest inspectors, Property inspectors, engineers and appraisers selected by Buyer as provided for in the Contract,  
 298 or inspectors required by Buyer's lender, upon reasonable advance notice to Seller. Buyer and Buyer's agent(s)  
 299 may also be present during all such inspections and the "walk through." Buyer will hold harmless and indemnify  
 300 Seller from mechanics liens accrued from its investigations of the property.

301 **15. ADJUSTMENTS AND CLOSING COSTS.** Unless otherwise agreed herein, adjustments, charges, and Closing costs  
 302 are to be paid by the Parties as follows:

303 **Buyer shall pay (where applicable):**

- 304 (a) Later date title charges and other Title Company charges (including closing, recording and escrow
- 305 fees, and all title charges required by the Lender) customarily paid by Buyer;
- 306 (b) Hazard insurance premiums; flood insurance premium, if required by lender;
- 307 (c) Credit report(s), appraisal fees and survey;
- 308 (d) Any charges imposed by the Buyer's lender, for example: points, loan discount fees, private mortgage
- 309 insurance, VA funding fees, and other loan expenses; property inspections; municipal inspections and
- 310 occupancy permit;
- 311 (e) Taxes and assessments, subdivision assessments and condominium assessments levied after closing
- 312 (see below);
- 313 (f) Agreed repairs;
- 314 (g) Real estate commission per written Contract with Buyer's agent; and
- 315 (h) Wood infestation inspections (except as required by Veterans Administration Regulations)

316 **Seller shall pay (where applicable):**

- 317 (a) Existing loans on Property (if not assumed by the Buyer);
- 318 (b) Basic title insurance premium and other Title Company charges (including closing, recording and
- 319 escrow fees) customarily paid by Seller;
- 320 (c) Municipal inspection fees;
- 321 (d) Taxes and assessments, subdivision assessments and condominium assessments levied before
- 322 Closing (see Paragraph 16 below) and revenue stamps;
- 323 (e) Real estate commission per written Contract with Seller's agent;
- 324 (f) Agreed upon repairs; and
- 325 (g) Transfer of tenant security deposits (if applicable);

326 **Buyer and Seller shall have prorated and adjusted between them on the basis of thirty (30) days to the**  
 327 **month (or as is customary) as of the Closing date (Seller shall pay the last day)**

- 328 (a) Current rents (Seller to receive rent for day of Closing);
- 329 (b) Rents which are delinquent over thirty (30) days to be collected by Seller and not adjusted;
- 330 (c) Ad valorem real estate taxes;
- 331 (d) Subdivision upkeep assessments and monthly condominium fees;
- 332 (e) Interest (when Buyer assumes an existing loan); and
- 333 (f) Utility charges (including, but not limited to, water, sewer, trash and fuel including storage tank
- 334 lease, if any).

335 **16. TAXES AND ASSESSMENTS.** The ad valorem real estate taxes and assessments (both governmental and private)  
 336 shall be apportioned through the Closing Date at the Seller's expense (Seller to have the last day). The proration

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thereof shall be calculated upon the basis of the most recent tax information, including confirmed multipliers. Any special assessment, regardless of whether such special assessment is a lien on the Property or is required under the covenants, restrictions, or declarations of a subdivision, development, or condominium, which is a onetime assessment being paid in installments by the Seller, shall be paid in full at Seller's expense at the time of Closing. All such taxes and assessments shall constitute a credit to Buyer against the Purchase Price and shall relieve the Seller from any liability to Buyer in connection herewith; however, in the event that the real estate taxes and assessments (specified or otherwise) prorated hereunder are overpaid/underpaid by more than five hundred dollars (\$500.00), the party aggrieved by this discrepancy shall be promptly reimbursed such discrepancy by the party receiving the benefit of the discrepancy upon receipt of a written request along with verification of the overpayment/underpayment. **Buyer should not assume that Buyer's future real estate tax bills on the property will be the same as the Seller's present tax bill.** If the Property is not separately assessed and is part of a larger parcel assessed for tax purposes, the Taxes for the Property shall be further prorated as follows: (i) the value of all improvements on the Property as reflected in the County records and (ii) proportion that the square footage land area of the Property bears to the square footage land area of the larger parcel. **IN ANY EVENT, THE REAL ESTATE AGENT(S) AND THE CLOSING AGENT SHALL NOT BE RESPONSIBLE TO EITHER PARTY FOR COLLECTION OF SUCH DISCREPANCY.**

**17. DEED OF CONVEYANCE.** Seller shall execute a proper deed sufficient to convey the Property to Buyer, or Buyer's nominee, in fee simple, subject to exceptions permitted herein, and delivered to Buyer at Closing upon Buyer's compliance with the terms of this Contract.

**18. EVIDENCE OF TITLE.** Within twenty (20) days after the Effective Date or ten (10) days prior to closing (whichever date is earlier), Seller shall deliver a commitment for title insurance ("Title Commitment") issued by a title insurance company ("Title Company") regularly doing business in the county where the Property is located, committing the Title Company to issue a policy in the usual form insuring title to the Property in Buyer's name for the amount of the Purchase Price.

**Buyer is cautioned that there may be subdivision covenants, bylaws, or other restrictions on the use of the Property, all of which should be recorded in the office of the Recorder of Deeds in the county in which the Property is located ("Title Restrictions"). Examples of restrictions include construction of improvements including room additions, a swimming pool, and non-residential uses of the Property such as use of a room for business or the right to keep certain vehicles or animals on the Property. The Buyer is advised to review all easements, government regulations and subdivision restrictions before Closing if the Buyer plans these or similar uses. If Buyer requires assistance in reviewing easements, surveys, restrictions or other matters affecting the title or use of the Property, Buyer should seek competent legal advice. The real estate agents have no responsibility to advise the Buyer about any Title Restrictions concerning the Property.**

"Permitted Exceptions" to title shall include only the lien of taxes and assessments, zoning laws and building ordinances, easements, apparent or of record, which do not underlie the improvements or render Property unmarketable; covenants and restrictions of record which are not violated by the existing improvements or by the present use of the Property; existing mortgages (which will be satisfied at Closing, if not assumed); coal, gas and other minerals excepted or conveyed in prior transactions; and limitations and conditions imposed by the Illinois Condominium Property Act, if applicable.

In the event the Property is governed by the Condominium Property Act, Seller shall furnish Buyer a statement from the Board of Managers, Treasurer, or Managing Agent of the condominium association certifying payment of assessments for the condominium common expenses and, if applicable, proof of waiver or termination or any right of first refusal or general option to purchase contained in the declaration of condominium, together with any other documents required by declaration of condominium or bylaws thereto as precondition to the transfer of title.

Buyer shall deliver written notice of exceptions (other than the Permitted Exceptions) to which the Buyer objects and the reasons for the objection to the Seller within **seven (7) days after being furnished the Title Commitment**. Seller shall have **five (5) days** to have such title exceptions removed or demonstrate that the objections will be cleared prior to Closing. If Seller is unable to cure such title exceptions or demonstrate that the objections will be cleared prior to Closing, the Buyer shall have the option to terminate this Contract, in which case the Buyer shall deliver to Seller a Termination Notice. For the Termination Procedure, see Paragraph 37. In the event the Title Commitment is not available to allow the full time frames provided above, such time limitations shall be adjusted pro-rata to meet the Closing Date agreed to between the Parties. At closing, title shall only be subject to lien of taxes for current year and thereafter and permitted exceptions. The Title Company has the right to contact either Buyer or Seller.

**19. SURVEY.** Buyer may obtain a survey at Buyer's cost, which shall be drawn by a licensed Illinois Land Surveyor, **at least ten (10) days prior to Closing.**

(a) **Within five (5) days of receipt of survey**, Buyer shall give written notice of objections to the survey, that: (1) are unacceptable to Buyer and (2) adversely affect the use of the Property. Failure of Buyer to serve written notice of objections to the survey on Seller within such time frame will constitute a waiver by Buyer of any survey objections.

(b) If Buyer does timely object, **Seller has five (5) days from receipt of the survey objections** to agree in writing to correct the survey defects, at Seller's expense, prior to Closing, or agree to reduce the



- 401 Purchase Price based upon the survey objections.
- 402 (c) If Seller does not so agree as provided in 19(b) hereof, the Buyer may terminate this Contract by  
 403 delivery of a Termination Notice to the Seller, unless Buyer, **within two (2) additional days**, agrees  
 404 in writing to accept the Property subject to the survey objections. If the Buyer delivers the  
 405 Termination Notice, the Seller shall promptly sign the Termination Notice to return the Earnest  
 406 Money to the Buyer. (Note: In the event the Buyer terminates the Contract as a result of the survey,  
 407 notwithstanding Paragraph (b) above, the Buyer must provide proof of payment to the surveyor,  
 408 prior to release of the Earnest Money). For the Termination Procedure see Paragraph 37.
- 409 **20. HOMEOWNER INSURANCE.** This Contract is contingent upon Buyer's securing evidence of insurability for an  
 410 Insurance Service Organization Homeowner 3 (ISOHO3) or applicable equivalent policy **within twenty (20)**  
 411 **days after Effective Date.** If Buyer is unable to obtain evidence of insurability and serves written notice with  
 412 proof of same to Seller within the time specified, this Contract shall be null and void and Seller shall promptly  
 413 sign the Termination Notice. For the Termination Procedure, see Paragraph 37. If written notice is not served  
 414 within the time specified, the Buyer shall be deemed to have waived the contingency and this Contract shall  
 415 remain in full force and effect.
- 416 **21. FLOOD INSURANCE.** Buyer shall have the option of declaring the Contract null and void within **five (5) days of**  
 417 **receipt of any written notice or disclosure**, which indicates that the Property is located in a flood plain and  
 418 which requires the Buyer to obtain flood insurance. It is the Seller's responsibility and expense to get the  
 419 elevation certificate if required by the lender or the insurance company. For Termination Procedure see  
 420 Paragraph 37. Notwithstanding the foregoing, this option shall not exist in the event such written notice of  
 421 disclosure was provided in the Residential Real Property Disclosure Report executed by both Seller and Buyer  
 422 prior to the Effective Date. In the event the Buyer is required to purchase flood insurance, Buyer(s) at Buyer's  
 423 sole option have ten (10) days to terminate the contract pursuant to the Termination Procedure, provided in  
 424 Paragraph 37.
- 425 **22. NOTICES.** For the purposes of this Paragraph and other provisions of this Contract, the Buyer or the Seller may  
 426 be referred to as the "Party" or "Parties." All notices required shall be in writing and shall be served by one party  
 427 or it's Designated Agent to the other party or it's Designated Agent. Notice to any one of a multi-person party  
 428 shall be sufficient notice to all. Notice shall be given in the following manner:
- 429 (d) By personal delivery of such notice deemed given upon personal delivery; or
- 430 (e) By mailing of such notice to the addresses recited herein by regular mail and by certified mail, return  
 431 receipt requested. Except as otherwise provided herein, notice served by certified mail, shall be  
 432 effective on the date of mailing (except mailing on Sunday or a holiday shall be considered effective  
 433 the next business day); or
- 434 (f) By facsimile transmission. Notice by facsimile transmission shall be effective as of the date and time  
 435 of facsimile transmission, (except facsimile transmission on a Sunday or holiday shall be considered  
 436 effective the next business day); or
- 437 (g) By e-mail, which e-mail shall be deemed effective when transmitted (except e-mail transmitted on a  
 438 Sunday or holiday shall be considered effective the next business day).
- 439 **23. RISK OF LOSS.** Risk of loss to the improvements on the Property shall be borne by the Seller until Closing. If,  
 440 after the Contract is executed the Property is destroyed or damaged by fire, windstorm, or other casualty, Seller  
 441 shall immediately notify Buyer in writing of the damage or destruction, and as soon as practicable, the amount of  
 442 insurance proceeds payable, if any. In the event of such loss, the Parties will attempt to agree as follows: (A)  
 443 Seller shall restore the Property to a condition mutually agreed upon by the Parties and Buyer, at his option and  
 444 expense, may obtain written inspection reports from qualified engineers, licensed home inspection services,  
 445 licensed contractors, environmental and/or utility companies to satisfy Buyer that said repairs have been  
 446 performed or (B) Buyer shall proceed with the transaction and be entitled to all insurance money, if any, payable  
 447 to Seller under all policies insuring the improvements. Notwithstanding the previous sentence, if the Parties fail  
 448 to agree to (A) or (B) above **within ten (10) days after Buyer has received written notice of such damage or**  
 449 **destruction and the amount of the insurance proceeds payable**, the Contract shall be considered terminated.  
 450 For the Termination Procedure, see Paragraph 37. The termination hereunder does not constitute a default  
 451 under this Contract by either party.
- 452 **24. REMEDIES UPON DEFAULT.** If either party defaults in the performance of any obligation of this Contract, the  
 453 party claiming a default ("Non-Defaulting party") shall notify the other party ("Defaulting party") in writing of  
 454 the nature of the default. The Non-Defaulting party may, but is not required to provide the Defaulting party with  
 455 a deadline to cure the default. In the event the default is not cured, then the Non-Defaulting party may seek any  
 456 remedy at law or in equity, including enforcement of sale and damages. In the event of litigation or arbitration  
 457 between the Parties, the prevailing party may recover, in addition to damages and/or equitable relief, the cost of  
 458 litigation, applicable fees, and reasonable attorney's fees. In the event of Earnest Money dispute, parties  
 459 acknowledge they must agree, in writing, to the disposition of Earnest Money or proceed to a resolution  
 460 pursuant to the provisions of Paragraph 26. For the Termination Procedure see Paragraph 37.
- 461 **25. EARNEST MONEY.** The Real Estate License Act [225ILCS 454/20-20 (h) (8) (B)] requires earnest monies held in  
 462 escrow be deemed "abandoned" if all of the following transpire: (i) the absence of disbursement, (ii) the  
 463 absence of the notice of filing of a claim in a court of competent jurisdiction, and (iii) six months have elapsed

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from the receipt by the broker of a written demand for the escrow monies by either principal to the transaction or either principal's duly authorized agent. In the event of Earnest Money dispute, parties acknowledge they must agree, in writing, to the disposition of Earnest Money as stated in the Termination Notice. Parties further acknowledge real estate brokers have no authority to release Earnest Money without signatures of all parties to the Contract. If the parties fail to agree, the disposition of the Earnest Money shall be distributed pursuant to Paragraph 26, namely, as agreed to by the parties in writing or as directed by a judge or arbitrator, as appropriate.

26. **MEDIATION/ARBITRATION/LITIGATION.** Seller and Buyer agree that all disputes or claims for five thousand dollars (\$5,000.00) or less shall be filed through the small claims procedures available through courts of local jurisdiction. Seller and Buyer agree that any disputes or claims arising out of or relating to this Contract over five thousand dollars (\$5000.00), including, without limitation, disputes for the return of the Earnest Money, disputes over taxes, the breach of this Contract, or the services provided in relation to this Contract, representations, made by the Buyer, Seller or other person or entity in connection with the sale, purchase, financing, condition, or other aspect of this Property, allegations of concealment, misrepresentations, negligence and/or fraud ("Disputes"), shall be submitted to mediation in accordance with the Rules of Procedures of the HomeSellers/Homebuyers Dispute Resolution System as established by the National Association of REALTORS®. The mediation shall be conducted solely between the Seller and the Buyer, and no real estate agents or other third parties may be involuntarily joined into such process. Any agreement signed by the Parties pursuant to the mediation conference shall be binding. The Parties shall pay the fees as set forth in the relevant rules as set forth herein.

The Parties further agree that any Disputes or claims for whatever cause or reason that are not resolved by mediation shall be settled by binding arbitration using the services of United States Arbitration & Mediation Midwest, Incorporated, in accordance with its relevant arbitration rules. The Arbitrator's decision shall be final and binding and judgment may be entered thereon. In the event a party fails to proceed with arbitration, unsuccessfully challenges the arbitrator's award, or fails to comply with arbitrator's award, the other party is entitled to costs of suit including a reasonable attorney's fee for having to comply with arbitration or defend or enforce the award. The provisions of this Paragraph concerning arbitration apply to any Disputes or claims brought between the parties.

The following matters are excluded from mediation and arbitration hereunder: (a) judicial or non-judicial foreclosure or other action or proceeding to enforce a mortgage, or deed of trust; (b) an unlawful detainer action; (c) the filing or enforcement of a mechanics' lien; or (d) any matter which is in the jurisdiction of a probate court.

The filing of a judicial action to enable the recording of a notice of pending action, or for an order of attachment, receivership, injunction, or other provisional remedies, or for the sole purpose of meeting the requirements of a statute of limitation, shall not constitute a waiver of the right to mediate and/or arbitrate under this Paragraph nor shall it constitute a breach of the duty to mediate and/or arbitrate. The escrow agent may not be joined in any action involving Earnest Money, but shall distribute the Earnest Money in accordance with the terms of the final judgment or arbitration award. **However, the Escrow Agent may institute an interpleader action to determine the proper receipt of the Earnest Money. Any attorney's fees or other expenses of the Escrow Agent shall be paid from the Earnest Money prior to disbursement to the Parties.**

27. **EFFECTIVE DATE DEFINED.** "Effective Date" is the time from which various time limits and contingencies are to be measured. Unless otherwise agreed in writing, "Effective Date" is defined as the date of the signature of the last party whose signature resulted in a Contract (even if that signature was obtained before the date of the acceptance deadline).
28. **TIMING.** Except for the "Effective Date" as defined in Paragraph 27 and a deadline stated in hours in Addendum A, if any date, time period or deadline hereunder falls on a Sunday or a state or federal holiday, then such date shall be extended to the next occurring business day. Subject to this Paragraph 28, if any provision of the Contract or any Addendum refers to a date, time period, or deadline in "days", said reference to days shall mean calendar days unless specified otherwise.
29. **ACKNOWLEDGEMENT.** Buyer acknowledges receipt of the Residential Real Property Disclosure, which was dated prior to the Effective Date of the Contract.
30. **BINDING EFFECT.** The Contract shall be binding on and for the benefit of the Parties and their respective heirs, personal representatives, executors, administrators, successors or assigns. Unless specifically stated herein, all provisions of this Contract shall survive the Closing.
31. **ENTIRE AGREEMENT.** This Contract constitutes the entire agreement between the Parties hereto and there are no other understandings, written or oral, relating to the terms hereof. The Contract may not be changed, modified or amended, in whole or in part, except in writing by all Parties.
32. **ASSIGNABILITY OF CONTRACT.** This Contract is assignable by Buyer only with the written consent of Seller, whose consent shall not be unreasonably withheld. If Seller is taking back a note and mortgage as part of the Purchase Price, or Buyer is assuming an existing note and mortgage, Seller may withhold Seller's consent in Seller's sole and absolute discretion. An assignment does not relieve the Parties of their obligations under the Contract.

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04/29/20

dotloop verified

Address 1201 Broadway, Highland, IL 62249

Date 04/17/2020

33. **GOVERNING LAW.** This Contract shall be considered a Contract for the sale of real property and shall be construed in accordance with laws of the State of Illinois. All Parties to the Contract agree to act in good faith and fair dealing with one another.
34. **CONSTRUCTION.** The Illinois Real Estate License Act, in effect on the Effective Date, shall take precedence over any definition herein to the contrary. Words of gender used in this Contract, shall be held and construed to include any other gender, and words in the singular shall be held in the plural, and vice versa, unless the context requires otherwise.
35. **FACSIMILE/ELECTRONIC COPIES.** Fully executed facsimile/electronic (e-mail, scanned, etc.) copies shall be deemed true copies, however, Parties shall exchange original documents if required.
36. **NON-DISCRIMINATION. THE PARTIES UNDERSTAND AND AGREE THAT IT IS ILLEGAL FOR EITHER OF THE PARTIES TO REFUSE TO DISPLAY OR SELL THE PROPERTY TO ANY PERSON ON THE BASIS OF RACE, COLOR, RELIGION, SEX, NATIONAL ORIGIN, ANCESTRY, AGE, MARITAL STATUS, FAMILIAL STATUS, PHYSICAL OR MENTAL HANDICAP, MILITARY STATUS OR UNFAVORABLE DISCHARGE FROM MILITARY, SEXUAL ORIENTATION, ORDER OF PROTECTION STATUS OR ANY OTHER CLASS PROTECTED BY ARTICLE 3 OF THE ILLINOIS HUMAN RIGHTS ACT. THE PARTIES AGREE TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL FAIR HOUSING LAWS.**
37. **TERMINATION PROCEDURE.** In the event either party to this Contract is entitled to deliver a Termination Notice to the other party pursuant to this Contract, the party receiving the Termination Notice has an affirmative obligation to sign the Termination Notice and the Earnest Money shall be disbursed pursuant to the terms of this Contract. Except as otherwise provided in the immediately preceding sentence, if either party delivers a Termination Notice, for a reason other than as allowed under the Contract to Purchase Real Estate, then such Termination Notice shall state with specificity the reasons for such Termination and should further propose a distribution of the Earnest Money; and the receiving party shall accept or reject the proposed Termination Notice within the time requirements of this Paragraph. In the event that both Parties agree to the Termination and the proposed distribution of the Earnest Money, then, after the Earnest Money is distributed as directed, this Contract is terminated and neither party shall have any continuing liability or obligation to the other Party. In the event that the Parties cannot agree to the termination or distribution of the Earnest Money, then the provisions of Paragraphs 25 and 26 shall govern the ultimate distribution of the Earnest Money and disposition of the Contract. If either party submits a Termination Notice or refuses to sign the Termination Notice without right under the reasons submitted on the Notice, such party shall be considered in default as described in Paragraph 24. The Termination Notice shall be signed and returned **within five (5) days** or the terms of Paragraph 26 shall govern.
38. **ADDENDA.** If checked, the following pre-printed addenda are made a part of this Contract:
- ☐ Addendum A - Contingency on Sale and/or Closing of Buyer's Property
  - ☐ Addendum B - Possession by Seller after Closing
  - ☐ Addendum C - New Construction
  - ☐ Addendum D - Repairs Addendum
  - ☐ Addendum E - Personal Property
  - ☐ Addendum F - Limited Purpose Entry by Buyer prior to Closing
  - ☐ Addendum G - Possession by Buyer prior to Closing
  - ☐ Addendum K - Contract for Deed
  - ☐ Addendum N - Short Sale Contingency
  - ☐ Addendum S - Secondary Contract
  - ☒ Addendum R - Residential Real Property Disclosure Report
  - ☒ Lead Based Paint Disclosure
  - ☒ Radon Disclosure
  - ☒ Additional Addendum Affiliated Business Disclosure

**SPECIAL AGREEMENT(S):**

Contingent on final vote w/city council May 4, 2020. Pump on well does not stay.

**AGENT INTEREST.** Pursuant to 225 ILCS 454/10-27 N/A is a licensed real estate broker/agent and has an interest, direct or indirect, as the Seller or Buyer of the Property that is the subject of this transaction.

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Address 1201 Broadway, Highland, IL 62249Date 04/17/2020

580 **INITIALS.** The Parties have initialed each of the eleven (11) pages of this Contract. Initialing each of the eleven (11)  
 581 pages merely acknowledges that the Parties have read and understand the terms indicated on such pages; failure to  
 582 initial all the pages shall not be cause to invalidate this Contract if all other conditions to the formation of the Contract  
 583 are satisfied.

**PLEASE PRINT**

584 PARTIES:

585 SELLER Donald L ShimerBUYER City of Highland586 Address: 13095 Trestle Rd.Address: 1115 Broadway587 City/State/Zip: Highland, IL 62249City/State/Zip: Highland, IL 62249

588 SELLER \_\_\_\_\_

BUYER \_\_\_\_\_

589 Address: \_\_\_\_\_

Address: \_\_\_\_\_

590 City/State/Zip: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

591 Listing Broker: Equity Fifty-Five Realty LLCSelling Broker: Equity Fifty-Five Realty LLC592 License #: 477.013645License #: 477.013645593 Address: 1B Woodcrest Professional ParkAddress: 1B Woodcrest Professional Park594 City/State/Zip: Highland, IL 62249City/State/Zip: Highland, IL 62249595 Phone/Cell: 618-530-0040Phone/Cell: 618-530-0040596 Designated Agent: Sue WurthDesignated Agent: Sue Wurth597 License #: 475.127885License #: 475.127885598 Phone/Cell: 618-530-0040Phone/Cell: 618-53-00040599 Fax: 618-654-5871Fax: 618-654-5871600 E-mail Address: suewurth@hotmail.comE-mail Address: suewurth@hotmail.com601 Contract to be accepted by Seller by 6:00 P M. on 04/20/2020. (Acceptance Deadline)City of Highlanddotloop verified  
04/29/20 12:38 PM CDT  
YGNF-NDRX-AZDC-EQ8Z

602 Buyer \_\_\_\_\_

Date \_\_\_\_\_

Buyer \_\_\_\_\_

Date \_\_\_\_\_

603 OFFER TO PURCHASE RECEIVED BY LISTING AGENCY:

I HEREBY ACKNOWLEDGE RECEIPT OF \$0604 DATE 4/17/2020

EARNEST MONEY MENTIONED ABOVE.

605 BY Sue Wurth

BY \_\_\_\_\_

606 On this 29th day of April, 2020 (year), Seller ☒ Accepts ☐ Rejects or ☐ Counter Offers - the  
 607 foregoing contract. If Seller counters, Counteroffer Addendum is attached.

Donald L. Shimer April 29 2020

608 Seller \_\_\_\_\_

Date \_\_\_\_\_

Seller \_\_\_\_\_

Date \_\_\_\_\_

609 TITLE COMPANY INFORMATION:

610 Name: Highland Community TitleContact: Kelli Hanebrink611 Address: 901 Main St., Highland, IL 62249612 Phone: 618-654-9900

Fax: \_\_\_\_\_

E-Mail Address: khanebrink@communitytitle.netSELLER(S) INITIALS DS

Page 11 of 11

BUYER(S) INITIALS CH

US Department of Housing  
and Urban Development (HUD)  
Federal Housing Administration

OMB Approval No: 2502-0538  
(exp. 06/30/2006)

# For Your Protection: Get a Home Inspection

Name of Buyer (s) City of Highland

Property Address 1201 Broadway, Highland, IL 62249

## Why a Buyer Needs a Home Inspection

A home inspection gives the buyer more detailed information about the overall condition of the home prior to purchase. In a home inspection, a qualified inspector takes an in-depth, unbiased look at your potential new home to:

- evaluate the physical condition: structure, construction, and mechanical systems
- identify items that need to be repaired or replaced
- estimate the remaining useful life of the major systems, equipment, structure, and finishes

## Appraisals are Different from Home Inspections

An appraisal is different from a home inspection. Appraisals are for lenders; home inspections are for buyers. An appraisal is required for three reasons:

- to estimate the market value of a house
- to make sure that the house meets FHA minimum property standards/requirements
- to make sure that the house is marketable

## FHA Does Not Guarantee the Value or Condition of your Potential New Home

If you find problems with your new home after closing, FHA can not give or lend you money for repairs, and FHA can not buy the home back from you.

## Radon Gas Testing

The United States Environmental Protection Agency and the Surgeon General of the United States have recommended that all houses should be tested for radon. For more information on radon testing, call the National Radon Information Line at 1-800-SOS-Radon or 1-800-767-7236. As with a home inspection, if you decide to test for radon, you may do so before signing your contract, or you may do so after signing the contract as long as your contract states the sale of the home depends on your satisfaction with the results of the radon test.

## Be an Informed Buyer

It is your responsibility to be an informed buyer. Be sure that what you buy is satisfactory in every respect. You have the right to carefully examine your potential new home with a qualified home inspector. You may arrange to do so before signing your contract, or may do so after signing the contract as long as your contract states that the sale of the home depends on the inspection.

**I/we understand the importance of getting an independent home inspection. I/we have considered this before signing a contract with the seller for a home. Furthermore, I/we have carefully read this notice and fully understand that FHA will not perform a home inspection nor guarantee the price or condition of the property.**

☐ I/We choose to have a home inspection performed.

☒ I/We choose not to have a home inspection performed.

X City of Highland

Signature & Date

dotloop verified  
04/29/20 12:38 PM CDT  
6KZN-VMEU-IBBZ-95MO

X

Signature & Date



This Inspection Waiver has been prepared by legal counsel to Greater Gateway Association of REALTORS® and REALTOR® Association of Southwestern Illinois and is intended solely for use by REALTOR® Members of the REALTOR® Association of Southwestern Illinois, Inc. and the Greater Gateway Association of REALTORS®, Inc. Any unauthorized use is strictly prohibited.



## INSPECTION WAIVER

CONTRACT DATED: 04/17/2020  
 PROPERTY: 1201 Broadway, Highland, IL 62249  
 BY AND BETWEEN: Donald L Shimer, Seller  
 And City of Highland, Buyer

Buyer hereby waives the right to the following inspections:

Report Type:

- |  |  |  |   |
|--|--|--|---|
| <input checked="" type="checkbox"/> Property Inspection  | <input checked="" type="checkbox"/> Wood Infestation | <input checked="" type="checkbox"/> Survey       | <input checked="" type="checkbox"/> Wells     |
| <input checked="" type="checkbox"/> Government/Occupancy | <input checked="" type="checkbox"/> Environmental    | <input checked="" type="checkbox"/> Sewer/Septic | <input checked="" type="checkbox"/> Appraisal |

### Why a Buyer Needs Inspection(s)

An inspection gives the buyer more detailed information about the overall condition of the home prior to purchase. In an inspection, a licensed inspector takes an in-depth, unbiased look at your potential new home to:

- Evaluate the physical condition: structural, environmental, construction and mechanical systems
- Identify items that need to be repaired or replaced
- Estimate the remaining useful life of the major systems, equipment, structure and finishes
- Diagnose wood infestation

### Appraisals are Different from Home Inspections

An appraisal is different from a home inspection. Appraisals are for lenders; home inspections are for buyers. An appraisal is required for two reasons:

- To estimate the market value of a house
- To make sure the house is marketable

It is your responsibility to be an informed buyer. Be sure that what you buy is satisfactory in every respect. You have the right to carefully examine your potential new home with a licensed home inspector, wood infestation inspector, sewer or septic inspector, a surveyor or an environmental inspector.

Seller: Donald L. Shimer  
 Seller: \_\_\_\_\_

Buyer: City of Highland  
 Buyer: \_\_\_\_\_

Date: April 29, 2020

Date: \_\_\_\_\_



## ILLINOIS REALTORS® DISCLOSURE AND CONSENT TO DUAL AGENCY (DESIGNATED AGENCY)



**NOTE TO CONSUMER:** THIS DOCUMENT SERVES THREE PURPOSES. FIRST, IT DISCLOSES THAT A REAL ESTATE LICENSEE MAY POTENTIALLY ACT AS A DUAL AGENT, THAT IS, REPRESENT MORE THAN ONE PARTY TO THE TRANSACTION. SECOND, THIS DOCUMENT EXPLAINS THE CONCEPT OF DUAL AGENCY. THIRD, THIS DOCUMENT SEEKS YOUR CONSENT TO ALLOW THE REAL ESTATE LICENSEE TO ACT AS A DUAL AGENT. A LICENSEE MAY LEGALLY ACT AS A DUAL AGENT ONLY WITH YOUR CONSENT. BY CHOOSING TO SIGN THIS DOCUMENT, YOU ARE CONSENTING TO DUAL AGENCY REPRESENTATION.

The undersigned Sue Wurth, ("Licensee"), (insert name(s) of Licensee undertaking dual representation) may undertake a dual representation (represent both the seller or landlord and the buyer or tenant) for the sale or lease of property. The undersigned acknowledge they were informed of the possibility of this type of representation. Before signing this document please read the following:

Representing more than one party to a transaction presents a conflict of interest since both clients may rely upon Licensee's advice and the client's respective interests may be adverse to each other. Licensee will undertake this representation only with the written consent of ALL clients in the transaction.

Any agreement between the clients as to a final contract price and other terms is a result of negotiations between the clients acting in their own best interests and on their own behalf. You acknowledge that Licensee has explained the implications of dual representation, including the risks involved, and understand that you have been advised to seek independent advice from your advisors or attorneys before signing any documents in this transaction.

### WHAT A LICENSEE CAN DO FOR CLIENTS WHEN ACTING AS A DUAL AGENT

1. Treat all clients honestly.
2. Provide information about the property to the buyer or tenant.
3. Disclose all latent material defects in the property that are known to the Licensee.
4. Disclose financial qualification of the buyer or tenant to the seller or landlord.
5. Explain real estate terms.
6. Help the buyer or tenant to arrange for property inspections.
7. Explain closing costs and procedures.
8. Help the buyer compare financing alternatives.
9. Provide information about comparable properties that have sold so both clients may make educated decisions on what price to accept or offer.

### WHAT LICENSEE CANNOT DISCLOSE TO CLIENTS WHEN ACTING AS A DUAL AGENT

1. Confidential information that Licensee may know about a client, without that client's permission.
2. The price or terms the seller or landlord will take other than the listing price without permission of the seller or landlord.
3. The price or terms the buyer or tenant is willing to pay without permission of the buyer or tenant.
4. A recommended or suggested price or terms the buyer or tenant should offer.
5. A recommended or suggested price or terms the seller or landlord should counter with or accept.

If either client is uncomfortable with this disclosure and dual representation, please let Licensee know. You are not required to sign this document unless you want to allow the Licensee to proceed as a Dual Agent in this transaction.

By signing below, you acknowledge that you have read and understand this form and voluntarily consent to the Licensee acting as a Dual Agent (that is, to represent BOTH the seller or landlord and the buyer or tenant) should that become necessary.

CLIENT: City of Highland dotloop verified  
04/29/20 12:38 PM CDT  
TCCM-EK1Q-NPA7-UYKU

Date: \_\_\_\_\_

Document presented on \_\_\_\_\_  
By: SUW  
(Broker/Licensee Initials)  
dotloop verified

CLIENT: Donald L. Skinner

Date: April 29, 2020

LICENSEE: Sue Wurth dotloop verified  
04/16/20 5:02 PM CDT  
H4HU-16DG-5XF3-L62V

Date: \_\_\_\_\_

## MEASUREMENT OF SQUARE FOOTAGE DISCLOSURE

Property Address: 1201 Broadway, Highland, IL 62249

Brokers are not experts in measuring, and do not measure the total square footage of the property that they will list for sale, show to buyers, and/or sell. To the extent that Brokers provide or share information about total square footage of properties, the information comes from one or more other sources, is only an approximation, and is not verified by Broker. They may be differing standards used for measuring total square footage of properties, and the available information about total square footage can vary depending upon the source, the measurement standard that was used, and the date of measurement. One source for total square footage is public information from the county assessor's office, but the county assessor's office does not warrant the accuracy of the information and neither does Broker. If you wish to have verifiable and accurate information about the total square footage of a particular property, you should retain a qualified professional appraiser to measure the property according to the measurement standard that the appraiser deems appropriate. The price per square foot for any property is a calculation based upon, among other things, total square footage, so price per square foot also is only an approximation and is subject to the same uncertainties and limitation described in this paragraph.

*Donald L. Shimer 12-9-19*

Seller Signature

Date

Seller Signature

Date

*City of Highland*

dotloop verified  
04/29/20 12:38 PM CDT  
SPWP-4WJM-FVJM-UHQU

Buyer Signature

Date

Buyer Signature

Date

## AFFILIATED BUSINESS ARRANGEMENT DISCLOSURE STATEMENT

### NOTICE FROM EQUITY FIFTY-FIVE REALTY LLC

This is to give you notice that Equity Fifty-Five Realty LLC has a business relationship with Highland Community Title, I.J.C. Community Title and Escrow, Ltd. is an owner of Highland Community Title LLC (526-7750). Ed Kleber and Chad Sellers are also owners of Highland Community Title, LLC. Ed Kleber and Chad Sellers are the principal owners of Equity Fifty-Five Realty LLC and as its principal owners, they may receive a financial or other benefit as a result of this activity.

The estimated charge or range of charges, for the settlement services will vary depending upon the price of the real estate and whether it is a purchase loan, or refinance. The estimated charges will vary between .003 and .006 of the amount of the purchase price of the real estate, or with respect to the refinance of property. The amount of the loan. You are NOT required to use the listed service providers as a condition for the settlement of your loan, or the purchase sale, or refinance of the subject property. THERE ARE FREQUENTLY OTHER SETTLEMENT SERVICE PROVIDERS AVAILABLE WITH SIMILAR SERVICES. YOU ARE FREE TO SHOP AROUND TO DETERMINE THAT YOU ARE RECEIVING THE BEST SERVICES AND THE BEST RATE FOR THESE SERVICES.

### ACKNOWLEDGEMENT

I/we have read this disclosure form and understand that Equity Fifty-Five Realty LLC is referring me/us to purchase the above described settlement service and may receive a financial or other benefit as a result of this referral.

<div style="border: 1px solid black; padding: 2px; display: inline-block;"> <i>Donald L. Skimer</i> 12-9-19         </div>	
Seller Signature      Date	Seller Signature      Date
<div style="border: 1px solid black; padding: 2px; display: inline-block;"> <i>City of Highland</i> </div>	
<div style="font-size: small;">             dotloop verified              04/29/20 12:38 PM CDT              UOSP-WYVF-0805-220H           </div>	
Buyer Signature      Date	Buyer Signature      Date





**ILLINOIS REALTORS®**  
**DISCLOSURE OF INFORMATION AND ACKNOWLEDGEMENT**  
**LEAD-BASED PAINT AND/OR LEAD-BASED PAINT HAZARDS**

**Lead Warning Statement**

Every purchaser of any interest in residential real property on which a residential dwelling was built prior to 1978 is notified that such property may present exposure to lead from lead-based paint that may place young children at risk of developing lead poisoning. Lead poisoning in young children may produce permanent neurological damage, including learning disabilities, reduced intelligence quotient, behavioral problems, and impaired memory. Lead poisoning also poses a particular risk to pregnant women. The seller of any interest in residential real property is required to provide the buyer with any information on lead-based paint hazards from risk assessments or inspections in the seller's possession and notify the buyer of any known lead-based paint hazards. A risk assessment or inspection for possible lead-based paint hazards is recommended prior to purchase.

Property Address: 1201 Broadway, Highland, IL 62249

**Seller's Disclosure (initial)**

**DS** ☐ (a) Presence of lead-based paint and/or lead-based paint hazards (check one below):

☐ Known lead-based paint and/or lead-based paint hazards are present in the housing (explain):

☒ Seller has no knowledge of lead-based paint and/or lead-based paint hazards in the housing.

**DS** ☐ (b) Records and Reports available to the seller (check one below):

☐ Seller has provided the purchaser with all available records and reports pertaining to lead-based paint and/or lead-based paint hazards in the housing (list documents below):

☒ Seller has no reports or records pertaining to lead-based paint and/or lead-based paint hazards in the housing.

**Purchaser's Acknowledgment (initial)**

**Colt** ☐ (c) Purchaser has received copies of all information listed above.

**Colt** ☐ (d) Purchaser has received the pamphlet *Protect Your Family From Lead in Your Home*.

**Colt** ☐ (e) Purchaser has (check one below):

☐ Received a 10-day opportunity (or mutually agreed upon period) to conduct a risk assessment or inspection of the presence of lead-based paint or lead-based paint hazards; or

☐ Waived the opportunity to conduct a risk assessment or inspection for the presence of lead-based paint and/or lead-based paint hazards.

**Agent's Acknowledgment (initial)**

**DS** ☐ (f) Agent has informed the seller of the seller's obligations under 42 U.S.C. 4852d and is aware of his/her responsibility to ensure compliance.

**Certification of Accuracy**

The following parties have reviewed the information above and certify to the best of their knowledge, that the information they have provided is true and accurate.

Seller: Ronald L. Skemer

Seller:

Agent: Sue Wurth

Purchaser: City of Highland

Purchaser:

Agent: Sue Wurth

dotloop verified  
04/29/20 12:38 PM CDT  
HVEV-70K-W554-V80D

dotloop verified  
04/16/20 4:26 PM CDT  
WMY-HG0D-PEW4-EN0S



**ILLINOIS REALTORS®**  
**DISCLOSURE OF INFORMATION ON RADON HAZARDS**  
 (For Residential Real Property Sales or Purchases)

**Radon Warning Statement**

Every buyer of any interest in residential real property is notified that the property may present exposure to dangerous levels of indoor radon gas that may place the occupants at risk of developing radon-induced lung cancer. Radon, a Class-A human carcinogen, is the leading cause of lung cancer in non-smokers and the second leading cause overall. The seller of any interest in residential real property is required to provide the buyer with any information on radon test results of the dwelling showing elevated levels of radon in the seller's possession.

The Illinois Emergency Management Agency (IEMA) strongly recommends ALL homebuyers have an indoor radon test performed prior to purchase or taking occupancy, and mitigated if elevated levels are found. Elevated radon concentrations can easily be reduced by a qualified, licensed radon mitigator.

**Seller's Disclosure (initial each of the following which applies)**

- ☐ (a) Elevated radon concentrations (above EPA or IEMA recommended Radon Action Level) are known to be present within the dwelling. (Explain).
- ☐ (b) Seller has provided the purchaser with the most current records and reports pertaining to elevated radon concentrations within the dwelling.
- ☒ (c) Seller either has no knowledge of elevated radon concentrations in the dwelling or prior elevated radon concentrations have been mitigated or remediated.
- ☒ (d) Seller has no records or reports pertaining to elevated radon concentrations within the dwelling.

**Purchaser's Acknowledgment (initial each of the following which applies)**

- ☐ (e) Purchaser has received copies of all information listed above.
- ☒ (f) Purchaser has received the IEMA approved Radon Disclosure Pamphlet.

**Agent's Acknowledgement (initial IF APPLICABLE)**

- ☒ (g) Agent has informed the seller of the seller's obligations under Illinois law.

**Certification of Accuracy**

The following parties have reviewed the information above and each party certifies, to the best of his or her knowledge, that the information he or she has provided is true and accurate.

Seller: Donald L. Skimer Date: Dec. 9, 2019

Seller: \_\_\_\_\_ Date: \_\_\_\_\_

Purchaser: City of Highland dotloop verified 04/29/20 12:38 PM CDT VJ9-ODFX-MCSP-LNIF

Purchaser: \_\_\_\_\_ Date: \_\_\_\_\_

Agent: [Signature] dotloop verified 04/29/20 12:38 PM CDT

Agent: Sue Wirth dotloop verified 04/16/20 4:26 PM CDT WZSP-U3LF-IQUT-ZG2I

Property Address: 1201 BroadwayCity, State, Zip Code: Highland, IL 62249



# **Illinois REALTORS®** **RESIDENTIAL REAL PROPERTY DISCLOSURE REPORT** **(765 ILCS 77/35)**

NOTICE: THE PURPOSE OF THIS REPORT IS TO PROVIDE PROSPECTIVE BUYERS WITH INFORMATION ABOUT MATERIAL DEFECTS IN THE RESIDENTIAL REAL PROPERTY. THIS REPORT DOES NOT LIMIT THE PARTIES' RIGHT TO CONTRACT FOR THE SALE OF RESIDENTIAL REAL PROPERTY IN "AS IS" CONDITION. UNDER COMMON LAW, SELLERS WHO DISCLOSE MATERIAL DEFECTS MAY BE UNDER A CONTINUING OBLIGATION TO ADVISE THE PROSPECTIVE BUYERS ABOUT THE CONDITION OF THIS RESIDENTIAL REAL PROPERTY EVEN AFTER THE REPORT IS DELIVERED TO THE PROSPECTIVE BUYER. COMPLETION OF THIS REPORT BY THE SELLER CREATES LEGAL OBLIGATIONS ON THE SELLER; THEREFORE SELLER MAY WISH TO CONSULT AN ATTORNEY PRIOR TO COMPLETION OF THIS REPORT.

Property Address: 1201 Broadway

City, State & Zip Code: Highland, IL 62249

Seller's Name: Donald J. Shlener

This Report is a disclosure of certain conditions of the residential real property listed above in compliance with the Residential Real Property Disclosure Act. This information is provided as of 12/29/20 and does not reflect any changes made or occurring after that date or information that becomes known to the seller after that date. The disclosures herein shall not be deemed warranties of any kind by the seller or any person representing any party in this transaction.

In this form, "am aware" means to have actual notice or actual knowledge without any specific investigation or inquiry. In this form, a "material defect" means a condition that would have a substantial adverse effect on the value of the residential real property or that would significantly impair the health or safety of future occupants of the residential real property unless the seller reasonably believes that the condition has been corrected.

The seller discloses the following information with the knowledge that even though the statements herein are not deemed to be warranties, prospective buyers may choose to rely on this information in deciding whether or not and on what terms to purchase the residential real property.

The seller represents that to the best of his or her actual knowledge, the following statements have been accurately stated as "yes" (current), "no" (incorrect), or "not applicable" to the property being sold. If the seller indicates that the response to any statement, except number 1, is yes or not applicable, the seller shall provide an explanation in the additional information area of this form.

	YES	NO	N/A	
1.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Seller has occupied the property within the last 12 months. (No explanation is needed.)
2.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I am aware of flooding or recurring leakage problems in the crawl space or basement.
3.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware that the property is located in a flood plain or that I currently have flood hazard insurance on the property.
4.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of material defects in the basement or foundation (including cracks and bulges).
5.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of leaks or material defects in the roof, ceilings, or chimney.
6.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I am aware of material defects in the walls, windows, doors, or floors.
7.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of material defects in the electrical system.
8.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of material defects in the plumbing system (includes such things as water heater, sump pump, water treatment system, sprinkler system, and swimming pool).
9.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of material defects in the well or well equipment.
10.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of unsafe conditions in the drinking water.
11.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of material defects in the heating, air conditioning, or ventilating systems.
12.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	I am aware of material defects in the fireplace or wood burning stove.
13.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of material defects in the septic, sanitary sewer, or other disposal system.
14.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of unsafe concentrations of radon on the premises.
15.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of unsafe concentrations of or unsafe conditions relating to asbestos on the premises.
16.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of unsafe concentrations of or unsafe conditions relating to lead paint, lead water pipes, lead plumbing pipes or lead in the soil on the premises.
17.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of mine subsidence, underground pits, settlement, sliding, upheaval, or other earth stability defects on the premises.
18.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of current infestations of termites or other wood boring insects.
19.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of a structural defect caused by previous infestations of termites or other wood boring insects.
20.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of underground fuel storage tanks on the property.
21.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware of boundary or lot line disputes.
22.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I have received notice of violation of local, state or federal laws or regulations relating to this property, which violation has not been corrected.
23.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware that this property has been used for the manufacture of methamphetamine as defined in Section 10 of the Methamphetamine Control and Community Protection Act.

Notes: These disclosures are not intended to cover the common elements of a condominium, but only the actual residential real property including limited common elements allocated to the exclusive use thereof that form an integral part of the condominium unit.

Notes: These disclosures are intended to reflect the current condition of the premises and do not include previous problems, if any, that the seller reasonably believes have been corrected.

If any of the above are marked "not applicable" or "yes", please explain here or use additional pages, if necessary:

2. SW corner had some leakage believed to be when it rained from roof down spouts. Downspout on front porch piped to sidewalk. Corner of basement was dry next big rain, #6. Six or seven windows

Check here if additional pages used: ☐ and front door glass are broken

Seller certifies that seller has prepared this statement and certifies that the information provided is based on the actual notice or actual knowledge of the seller without any specific investigation or inquiry on the part of the seller. The seller hereby authorizes any person representing any principal in this transaction to provide a copy of this report, and to disclose any information in the report, to any person in connection with any actual or anticipated sale of the property.

Seller: Donald L. Skinner Date: 12-9-19

Seller: \_\_\_\_\_ Date: \_\_\_\_\_

THE PROSPECTIVE BUYER IS AWARE THAT THE PARTIES MAY CHOOSE TO NEGOTIATE AN AGREEMENT FOR THE SALE OF THE PROPERTY SUBJECT TO ANY OR ALL MATERIAL DEFECTS DISCLOSED IN THIS REPORT ("AS IS"). THIS DISCLOSURE IS NOT A SUBSTITUTE FOR ANY INSPECTIONS OR WARRANTIES THAT THE PROSPECTIVE BUYER OR SELLER MAY WANT TO OBTAIN OR NEGOTIATE. THE FACT THAT THE SELLER IS NOT AWARE OF A PARTICULAR CONDITION OR PROBLEM IS NO GUARANTEE THAT IT DOES NOT EXIST. THE PROSPECTIVE BUYER IS AWARE THAT HE MAY REQUEST AN INSPECTION OF THE PREMISES PERFORMED BY A QUALIFIED PROFESSIONAL.

Prospective Buyer: City of Highland dotloop verified 04/29/20 12:38 PM CDT VTROJ9UR-8LNE-RSP9 Date: \_\_\_\_\_ Time: \_\_\_\_\_

Prospective Buyer: \_\_\_\_\_ Date: \_\_\_\_\_ Time: \_\_\_\_\_

A COPY OF ARTICLE 2 OF THE RESIDENTIAL REAL PROPERTY DISCLOSURE ACT IS AFFIXED HERETO AND SHOULD BE REVIEWED BY PROSPECTIVE BUYER.

## RESIDENTIAL REAL PROPERTY DISCLOSURE ACT

### ARTICLE 2: DISCLOSURES

765 U.C.S. 77/5 et seq.

**Section 5. Definitions.** As used in this Act, unless the context otherwise requires the following terms have the meaning given in this section:

"Residential real property" means real property improved with not less than one nor more than four residential dwelling units; units in residential cooperatives; or, condominium units including the limited common elements allocated to the exclusive use thereof that form an integral part of the condominium unit. The term includes a manufactured home as defined in subdivision (53) of Section 9-102 of the Uniform Commercial Code that is real property as defined in the Conveyance and Encumbrance of Manufactured Homes as Real Property and Severance Act.

"Seller" means every person or entity who is an owner, beneficiary of a trust, contract purchaser or lessee of a ground lease, who has an interest (legal or equitable) in residential real property. However, "seller" shall not include any person who has both (i) never occupied the residential real property and (ii) never had the management responsibility for the residential real property nor delegated such responsibility for the residential real property to another person or entity.

"Prospective buyer" means any person or entity negotiating or offering to become an owner or lessee of residential real property by means of a transfer for value to which this Act applies.

**Section 10. Applicability.** Except as provided in Section 15, this Act applies to any transfer by sale, exchange, installment land sale contract, assignment of beneficial interest, lease with an option to purchase, ground lease or assignment of ground lease of residential real property.

**Section 15. Applicability; Exceptions.** The provisions of this Act do not apply to the following:

(1) Transfers pursuant to court order, including, but not limited to, transfers ordered by a probate court in administration of an estate, transfers between spouses resulting from a judgment of dissolution of marriage or legal separation, transfers pursuant to an order of possession, transfers by a trustee in bankruptcy, transfers by eminent domain and transfers resulting from a decree for specific performance.

(2) Transfers from a mortgagor to a mortgagee by deed in lieu of foreclosure or consent judgment, transfer by judicial deed issued pursuant to a foreclosure sale to the successful bidder or the assignee of a certificate of sale, transfer by a collateral assignment of a beneficial interest of a land trust, or a transfer by a mortgagee or a successor in interest to the mortgagee's secured position or a beneficiary under a deed in trust who has acquired the real property by deed in lieu of foreclosure, consent judgment or judicial deed issued pursuant to a foreclosure sale.

(3) Transfers by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust.

(4) Transfers from one co-owner to one or more other co-owners.

(5) Transfers pursuant to testate or intestate succession.

(6) Transfers made to a spouse, or to a person or persons in the lineal line of consanguinity of one or more of the sellers.

(7) Transfers from an entity that has taken title to residential real property from a seller for the purpose of assisting in the relocation of the seller, so long as the entity makes available to all prospective buyers a copy of the disclosure form furnished to the entity by the seller.

(8) Transfers to or from any governmental entity.

(9) Transfer of newly constructed residential real property that has not been occupied.

**Section 20. Disclosure Report; Completion; Time of Delivery.** A seller of residential real property shall complete all applicable items in the disclosure document described in Section 35 of this Act. The seller shall deliver to the prospective buyer the written disclosure statement required by this Act before the signing of a written agreement by the seller and prospective buyer that would, subject to the satisfaction of any negotiated contingencies, require the prospective buyer to accept a transfer of the residential real property.

**Section 35. Liability of seller.**

(a) The seller is not liable for any error, inaccuracy, or omission of any information delivered pursuant to this Act if (i) the seller had no knowledge of the error, inaccuracy, or omission; (ii) the error, inaccuracy, or omission was based on a reasonable belief that a material defect or other matter not disclosed had been corrected; or (iii) the error, inaccuracy, or omission was based on information provided by a public agency or by a licensed engineer, land surveyor, structural pest control operator, or by a contractor about matters within the scope of the contractor's occupation and the seller had no knowledge of the error, inaccuracy, or omission.

(b) The seller shall disclose material defects of which the seller has actual knowledge.

(c) The seller is not obligated by this Act to make any specific investigation or inquiry in an effort to complete the disclosure statement.

**Section 36. Disclosure supplement.** If, prior to closing, any seller has actual knowledge of an error, inaccuracy, or omission in any prior disclosure document after delivery of that disclosure document to a prospective buyer, that seller shall supplement the prior disclosure document with a written supplemental disclosure.

**Section 35. Disclosure report form . . . [omitted]**

**Section 40. Material defect.** If a material defect is disclosed in the Residential Real Property Disclosure Report, after acceptance by the prospective buyer of an offer or counter-offer made by a seller or after the execution of an offer made by a prospective buyer that is accepted by the seller for the conveyance of the residential real property, then the Prospective Buyer may, within three business days after receipt of that Report by the prospective buyer, terminate the contract or other agreement without any liability or recourse except for the return to prospective buyer of all earnest money deposits or down payments paid by prospective buyer in the transaction. If a material defect is disclosed in a supplement to this disclosure document, the prospective buyer shall not have a right to terminate unless the material defect results from an error, inaccuracy, or omission of which the seller had actual knowledge at the time the prior disclosure document was completed and signed by the seller. The right to terminate the contract, however, shall no longer exist after the conveyance of the residential real property. For purposes of this Act the termination shall be deemed to be made when written notice of termination is personally delivered to at least one of the sellers identified in the contract or other agreement or when deposited, certified or registered mail, with the United States Postal Service, addressed to one of the sellers at the address indicated in the contract or agreement or, if there is not an address contained therein, then at the address indicated for the residential real property on the Report.

**Section 45. Effect of Act on Other Statutes or Common Law.** This Act is not intended to limit or modify any obligation to disclose created by any other statute or that may exist in common law in order to avoid fraud, misrepresentation, or deceit in the transaction.

**Section 50. Disclosure Report; Method of Delivery.** Delivery of the Residential Real Property Disclosure Report provided by this Act shall be by:

(1) personal or facsimile delivery to the prospective buyer;

(2) depositing the report with the United States Postal Service, postage prepaid, first class mail, addressed to the prospective buyer at the address provided by the prospective buyer or indicated on the contract or other agreement; or

(3) depositing the report with an alternative delivery service such as Federal Express, UPS, or Airborne, delivery charges prepaid, addressed to the prospective buyer at the address provided by the prospective buyer or indicated on the contract or other agreement.

For purposes of this Act, delivery to one prospective buyer is deemed delivery to all prospective buyers. Delivery to an authorized individual acting on behalf of a prospective buyer constitutes delivery to all prospective buyers. Delivery of the Report is effective upon receipt by the prospective buyer. Receipt may be acknowledged on the Report, in an agreement for the conveyance of the residential real property, or shown in any other verifiable manner.

**Section 55. Violations and damages.** If the seller fails or refuses to provide the disclosure document prior to the conveyance of the residential real property, the buyer shall have the right to terminate the contract. A person who knowingly violates or fails to perform any duty prescribed by any provision of this Act or who discloses any information on the Residential Real Property Disclosure Report that he knows to be false shall be liable in the amount of actual damages and court costs, and the court may award reasonable attorney fees incurred by the prevailing party.

**Section 60. Limitation of Action.** No action for violation of this Act may be commenced later than one year from the earlier of the date of possession, date of occupancy or date of recording of an instrument of conveyance of the residential real property.

**Section 65. Disclosure Report Form; Contents; Copy of Act.** A copy of this Act, excluding Section 35, must be printed on or as a part of the Residential Real Property Disclosure Report form.

Date provided to Buyer: 04/17/2020

Seller:

Donald L. Skimet



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### LISTING PROPERTY INFORMATION SHEET

NOTE: This listing property information sheet is not part of the contract.

Property Address: 1261 Broadway, Highland, IL, 62249

Parcel ID#: 01-2-24-03-08-201-040

Seller's Name: Donald L. Shinner

Seller's Name:

Title Company: Seller's Attorney:

Home Protection Plan (If one is offered):

Company: Price:

Property Inclusions (if not already covered in Paragraph 7 of the Contract to Purchase Real Estate):

Property Exclusions:

#### Utility Companies

Water: City of Highland

Sewer: City of Highland

Electric: City of Highland

Trash: City of Highland

Natural Gas: Ameren

Internet Provider:

Cable Provider:

Fire Protection:

Police Protection:

Propane Provider: Lease Tank ☐ Own Tank ☐

Satellite Dish: Leased ☐ Owned ☐

Aceration: Last Service Date: By Whom:

Age of: Roof 10/2003 (REAR PORCH ROOF) HVAC 12/2007 (FURNACE) 1/2017 (HWH)

Well depth: 7/2011 (CONCRETE ROOF)

Electric: Fuses ☒ Circuit Breaker ☒

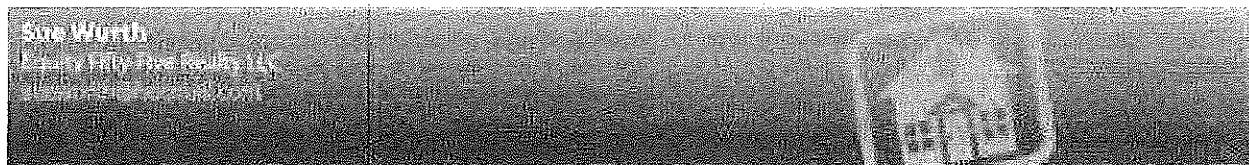
List Appliances with Age:

Donald L. Shinner 12-9-19  
Seller Date

Seller Date



(Each company may consult their attorney as to the use of this form.)



Listings as of: 04/16/2020 at 10:10 AM

## Client Detail Report

Property Type: Residential

1201 Broadway, Highland 62249-1903

L Price: \$79,900

MLS #: 19088154

Status: Active

County: Madison-IL

Area:

Muni/Twp:

SubD: None

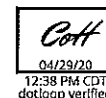


## General Property Information

Style:	2 Story/Other	CrossSt:	Beds:	4	CDOM:	128
Taxes Pd:	\$3,107	Lot Num:	Baths:	2 (1 1)	Dual Age:	Yes
Tax Yr:	2018	Sq/Twn:	Age:	103	Year Built:	1916
Prop Type:	Residential	Ttl Liv Ar:	Unit #:		Assoc Fee:	
Sqft Above:	2,376 (County Records)	Pr/Ttl Liv Ar:	# Pk:	0	Assoc Pd:	
Sqft Abw/PSF:	2,376 / \$33.63		Sqft Below:	0	Building #:	
Lot Size:	0.103 ac (County Records)		Ttl Liv Ar/PSF:	2,376 / \$33.63	Pr/Sqft:	\$33.63
Lot SF:	4,497 (County Records)		Ttl Units:			
Lot Dim:	50 X 90		Base Pr Rng:			
Elem Sch:	HIGHLAND DIST 5		Sqft Range:			
J High:	HIGHLAND DIST 5		Uc Sell:	Designated Agent		
S High:	Highland		Schl District:	Highland DIST 5		
Poss:	At Closing		SubDiv Ph:			
Type:						

## Rooms / Sizes

Total Rooms		Bedrooms		Full Baths		Half Baths	
# Rms:	11	Main Beds:	1	Main Bths:	0	Mn Bths:	1
M & U Beds:	4	Up Beds:	3	Up Bths:	1	Up Bths:	0
M & U Bths:	2	Low Beds:	0	Low Bths:	0	Lw Bths:	0
Type	Dimensions	Level	Flooring	Window Covering			
Living Room	15 x 13	M	Laminate	Some			
Dining Room	15 x 12	M	Laminate	Some			
Kitchen	14 x 13	M	Vinyl	Some			
Master Bedroom	13 x 11	M	Wood	None			
Bedroom	13 x 11	U	Wood	None			
Bedroom	13 x 12	U	Wood	None			
Bedroom	10 x 11	U	Wood	None			
Bathroom	5 x 3	M	Ceramic Tile	None			
Bathroom	13 x 5	U	Ceramic Tile	None			
Other	7 x 5	M	Vinyl	Some			



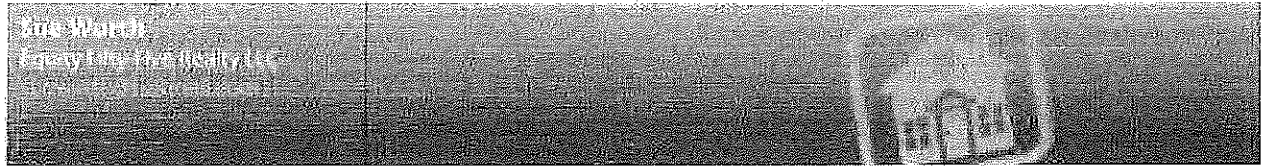
Presented By: Sue Wurth Phone: 618-530-0040

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Listings as of 04/16/2020 at 10:10 AM

## Client Detail Report

Property Type: Residential

1201 Broadway, Highland 62249-1903

MLS #: 19088154

Kitchen	14 x 13	U	Wood	None	Details	None
# Fp:	0	Garage Info:	1/16 x 24	#Crp Sp:	0	Cable:
Fp Type:	None			Fp Loc:	None	
Conditions:	Unknown			Ht Src:	Gas	
Model:				Water Ht:	Gas	
Builder:				Water Sft:		
Sewer:	Public					
Architect:	Historic					
Dining:	Separate Dining					
Water:	Cistern, Public, Well					
Cool:	None					
Heat:	Radiator(s)					
Disclor:	Sellers Discl. Avail					
Park Desc:	Detached					
Bdrm Desc:	Main Floor Master					
Construct:	Brick Veneer Decrtv					
Spec Desc:	No Exemptions					
Base Desc:	Full					
Misc:	Porch-Covered, Smoke Alarm/Defec					
Interior:	9' Ceilings, Some Wood Floors					
Windows:	Pocket Door(s)					
Spec Area:	Entry Foyer					
Lot Desc:	Corner Lot, Level Lot, Sidewalks, Streetlights					



3

### Remarks

**Mrk Rmks:** All brick 2-story home located on corner lot W/4BR, 1.5 BA, covered front & back porch, tons of character throughout, 9 ft. ceilings on main floor, some wood floors, open staircase to upper level, second kitchen upstairs could be 5th BR, 1 car detached garage w/concrete floor (16 x 24). Being sold "AS-IS" seller will not do any repairs. Flue liner kit installed in chimney 1993. House & front porch roof 10/2003. Furnace 12/2010. New toilet drain pipe to upstairs 2010. Back porch roof 7/2011. HWH 1/2017. Zoned C-2.

**Directions:** Poplar St. to W. on Broadway.

Presented By: Sam Worth Purnia: 818-530-0040

Featured properties may not be listed by the office/agent presenting the brochure.

All information herein has not been verified and is not guaranteed.

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# **APPRAISAL REPORT OF**



1201 Broadway  
Highland, IL 62249

## **PREPARED FOR**

Mr. Michael McGinley  
City of Highland  
1001 Broadway  
Highland Illinois, 62249

## **AS OF**

April 1, 2020

## **PREPARED BY**

DJ Howard & Associates Inc.  
820 Broadway  
Highland, IL 62249

UNIFORM RESIDENTIAL APPRAISAL REPORT

Property Description

Property Address	1201 Broadway	City	Highland	State	IL	Zip Code	62249
Legal Description	Orginal Town Lot PT 12 50X90			County		Madison	
Assessor's Parcel No.	01-2-24-05-08-201-040		Tax Year	2018	R.E. Taxes \$	3,107.00	Special Assessments \$
Borrower	N/A		Current Owner	Donald L. Shimer		Occupant	<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Vacant
Property rights appraised	<input checked="" type="checkbox"/> Fee Simple	<input type="checkbox"/> Leasehold	Project Type	<input type="checkbox"/> PUD <input type="checkbox"/> Condominium (HUD/VA only)	HOA\$/Mo.		
Neighborhood or Project Name	N/A		Map Reference	N/A		Census Tract	N/A
Sale Price \$	N/A	Date of Sale	N/A	Description and \$ amount of loan charges/concessions to be paid by seller N/A			
Lender/Client	City of Highland		Address 1001 Broadway, Highland Illinois, 62249				
Appraiser	Donna J Howard		Address 820 Broadway, Highland, IL 62249				

ICED BUS

Location	<input type="checkbox"/> Urban	<input checked="" type="checkbox"/> Suburban	<input type="checkbox"/> Rural	<b>Predominant occupancy</b>	<b>Single family housing</b>		<b>Present land use %</b>		<b>Land use change</b>	
Built up	<input type="checkbox"/> Over 75%	<input checked="" type="checkbox"/> 25-75%	<input type="checkbox"/> Under 25%		PRICE \$(000)	AGE (yrs)	One family	50	<input checked="" type="checkbox"/> Not likely	<input type="checkbox"/> Likely
Growth rate	<input type="checkbox"/> Rapid	<input checked="" type="checkbox"/> Stable	<input type="checkbox"/> Slow		<input checked="" type="checkbox"/> Owner	1	Low	64	2-4 family	2
Property values	<input type="checkbox"/> Increasing	<input checked="" type="checkbox"/> Stable	<input type="checkbox"/> Declining		<input type="checkbox"/> Tenant	404	High	152	Multi-family	5
Demand/supply	<input type="checkbox"/> Shortage	<input checked="" type="checkbox"/> In balance	<input type="checkbox"/> Over supply		<input type="checkbox"/> Vacant (0-5%)	Predominant			Commercial	20
Marketing time	<input type="checkbox"/> Under 3 mos.	<input checked="" type="checkbox"/> 3-6 mos.	<input type="checkbox"/> Over 6 mos.	<input type="checkbox"/> Vacant (over 5%)	160	64		Industrial	23	To:

**Note: race and the racial composition of the neighborhood are not appraisal factors.**  
Neighborhood boundaries and characteristics: See Comment Addenda

Factors that affect the marketability of the properties in the neighborhood (proximity to employment and amenities, employment stability, appeal to market, etc.):  
See Comment Addenda

Market conditions in the subject neighborhood (including support for the above conclusions related to the trend of property values, demand/supply, and marketing time -- such as data on competitive properties for sale in the neighborhood, description of the prevalence of sales and financing concessions, etc.):

DOORHUBGEN

**Project Information for PUDs** (If applicable -- Is the developer/builder in control of the Home Owner's Association (HOA)? ☐ Yes ☐ No  
Approximate total number of units in the subject project \_\_\_\_\_ Approximate total number of units for sale in the subject project \_\_\_\_\_  
Describe common elements and recreational facilities:

Dimensions	50*90					Topography	Level
Site area	4,500 sf					Size	Typical
Specific zoning classification and description	"C-2" Central Business District					Shape	Rectangular
Zoning compliance:	<input checked="" type="checkbox"/> Legal	<input type="checkbox"/> Legal nonconforming (Grandfathered use)	<input type="checkbox"/> Illegal	<input type="checkbox"/> No Zoning	Drainage	Adequate	
Highest & best use as improved:	<input type="checkbox"/> Present use	<input checked="" type="checkbox"/> Other use (explain)	Commercial Building				
Utilities	Public	Other	Off-site Improvements	Type	Public	Private	Landscaping
Electricity	<input checked="" type="checkbox"/>		Street	Asphalt	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Minimal
Gas	<input checked="" type="checkbox"/>		Curb/gutter	Both	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Driveway Surface
Water	<input checked="" type="checkbox"/>		Sidewalk	Concrete	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Asphalt
Sanitary sewer	<input checked="" type="checkbox"/>		Street lights	Yes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Apparent easements
Storm sewer	<input checked="" type="checkbox"/>		Alley	Rear	<input checked="" type="checkbox"/>	<input type="checkbox"/>	FEMA Special Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
					FEMA Zone X Map Date 11/5/1986		
					FEMA Map No. 1704450001B		

Comments (apparent adverse easements, encroachments, special assessments, slide areas, illegal or legal nonconforming zoning use, etc.): None Noted

EIS

GENERAL DESCRIPTION			EXTERIOR DESCRIPTION			FOUNDATION			BASEMENT			INSULATION			
No. of Units	1		Foundation			Slab			Area Sq. Ft. 1,188			Roof	<input type="checkbox"/>		
No. of Stories	2 Story		Exterior Walls			Crawl Space			% Finished 0			Ceiling	<input type="checkbox"/>		
Type (Det./Att.)	Detached		Roof Surfaces			Basement			Ceiling			None		Walls	<input type="checkbox"/>
Design (Style)	Classic		Gutters & Dwnspts.			Sump Pump			Walls			Stone		Floor	<input type="checkbox"/>
Existing/Proposed	Existing		Window Type			Dampness			Floor			Concrete		None	<input type="checkbox"/>
Age (Yrs.)	104		Storm/Screens			Settlement			Outside Entry					Unknown	<input checked="" type="checkbox"/>
Effective Age (Yrs.)	30		Manufactured House			Infestation									
ROOMS	Foyer	Living	Dining	Kitchen	Den	Family Rm.	Rec. Rm.	Bedrooms	# Baths	Laundry	Other	Area Sq. Ft.			
Basement												1,188			
Level 1		1	1	1				1	1.00			1,188			
Level 2								3	1.00		1	1,188			

STINEWEORPWFONTRCSEED

Finished area	above grade contains:		7	Rooms;	4	Bedroom(s);	2.00	Bath(s);	2,376	Square Feet of Gross Living Area		
INTERIOR	Materials/Condition		HEATING		KITCHEN EQUIP.		ATTIC		AMENITIES		CAR STORAGE	
Floors	Wood/Vinyl/Tile		Type		Refrigerator		None		Fireplace(s) # 1		None	
Walls	Taped/Painted		Fuel		Range/Oven		Stairs		Patio		Garage	
Trim/Finish	Wood/Good		Condition		Disposal		Drop Stair		Deck		Attached	
Bath Floor	Vinyl		COOLING		Dishwasher		Scuttle		Porch		Detached	
Bath Wainscot	Avg.		Central		Fan/Hood		Floor		Fence		Built-In	
Doors	Solid		Other		Microwave		Heated		Pool		Carport	
			Condition		Washer/Dryer		Finished				Driveway	

Additional features (special energy efficient items, etc.): None Noted

Condition of the improvements, depreciation (physical, functional, and external), repairs needed, quality of construction, remodeling/additions, etc.: Due to the COVID-19 pandemic, we were unable to do an interior inspection. We have utilized listing photos for this appraisal. According to the listing photos, the subject needs repairs to the kitchen cabinets, exterior doors, flooring, and overall updating.

Adverse environmental conditions (such as, but not limited to, hazardous wastes, toxic substances, etc.) present in the improvements, on the site, or in the immediate vicinity of the subject property.: None Noted

STINEWMOOC

## Valuation Section

# UNIFORM RESIDENTIAL APPRAISAL REPORT

[illegible]

DJ Howard & Associates Inc.  
**COMMENT ADDENDUM**

File No. C20-110

Case No.

Borrower N/A

Property Address 1201 Broadway

City Highland County Madison State IL Zip Code 62249

Lender/Client City of Highland Address 1001 Broadway, Highland Illinois, 62249

### **Analysis of Sales**

In the Sales Comparison Approach, market data of similar properties are analyzed and adjusted to arrive at a value indication of the subject property. This approach reflects the actions of buyers and sellers in the market and is based on the principle of substitution. The principle of substitution states that with several similar properties, an informed buyer will not pay more for one than they can acquire an equally desirable substitute property. Since no two properties are exactly similar, it is necessary to make adjustments to the comparable sales as they relate to the subject.

Each of the sales were reportedly arms' length transactions with all cash paid to seller. Therefore, no adjustments were considered necessary for condition of sale or financing. Each of the sales were transfers of the fee simple interest and no adjustment was made for interest appraised. The sales all occurred between April 2019 to October 2019 and there is no market evidence to support an adjustment for market conditions (time) for the comparable sales. The adjustments for physical differences between the subject and the comparable sales are discussed in the following paragraphs.

Site: The subject has a site size of 4,500 square feet. All of the comparable sales had larger lots and downward adjustments were applied in varying degrees.

Quality of Construction: The subject is a two-story brick residence. All of the comparable sales are 1 1/5 story, wood frame, vinyl siding exterior residences and are considered inferior. Therefore, upward adjustments were applied to all of the comparable sales.

Condition: The subject property was originally constructed in 1916 and is considered to be in fair condition. All of the comparable sales are in superior condition in relation to the subject and downward adjustments were required in varying degrees.

Room Count: The subject property has four bedrooms and one and a half baths. All of the comparable sales had inferior room counts and upward adjustments were required.

Gross Living Area : The subject has an above grade gross building area of 2,376 square feet. All of the comparable sales are smaller than the subject and upward adjustments were required in varying degrees.

Heating/Cooling: The subject has forced warm air and central air cooling. Comparable Sale Three has a window unit on the secondary storey and required an upward adjustment.

Garage/Carport: The subject includes a one-car detached garage. Comparable Sale One also includes a one- car detached garage and no adjustment was required. The remaining two sales did not have a garage or carport and upward adjustments were considered necessary.

Amenities: The subject does not include any amenities. Comparable Sale One has an additional shed on the property and required a downward adjustment. The remaining comparable sales had similar amenities to the subject and no further adjustments were applied.

DJ Howard & Associates Inc.  
**COMMENT ADDENDUM**

File No. C20-110  
Case No.

Borrower N/A

Property Address 1201 Broadway

City Highland County Madison State IL Zip Code 62249

Lender/Client City of Highland Address 1001 Broadway, Highland Illinois, 62249

**Zoning:** The subject is zoned for commercial use. Comparable Sale One is also zoned for commercial use and no adjustment was required. The remaining comparable sales are zoned for residential use which is considered inferior. Therefore, upward adjustments were applied to Comparable Sales Two and Three for this factor.

After adjustments, the sales ranged from \$65,725 to \$80,075, with a weighted average of \$73,385 and a median of \$74,455. We have concluded a rounded value of \$75,000.



Borrower	N/A						
Property Address	1201 Broadway						
City	Highland	County	Madison	State	IL	Zip Code	62249
Lender/Client	City of Highland		Address 1001 Broadway, Highland Illinois, 62249				



**COMPARABLE #** 1  
204 Poplar Street  
Highland, IL 62249



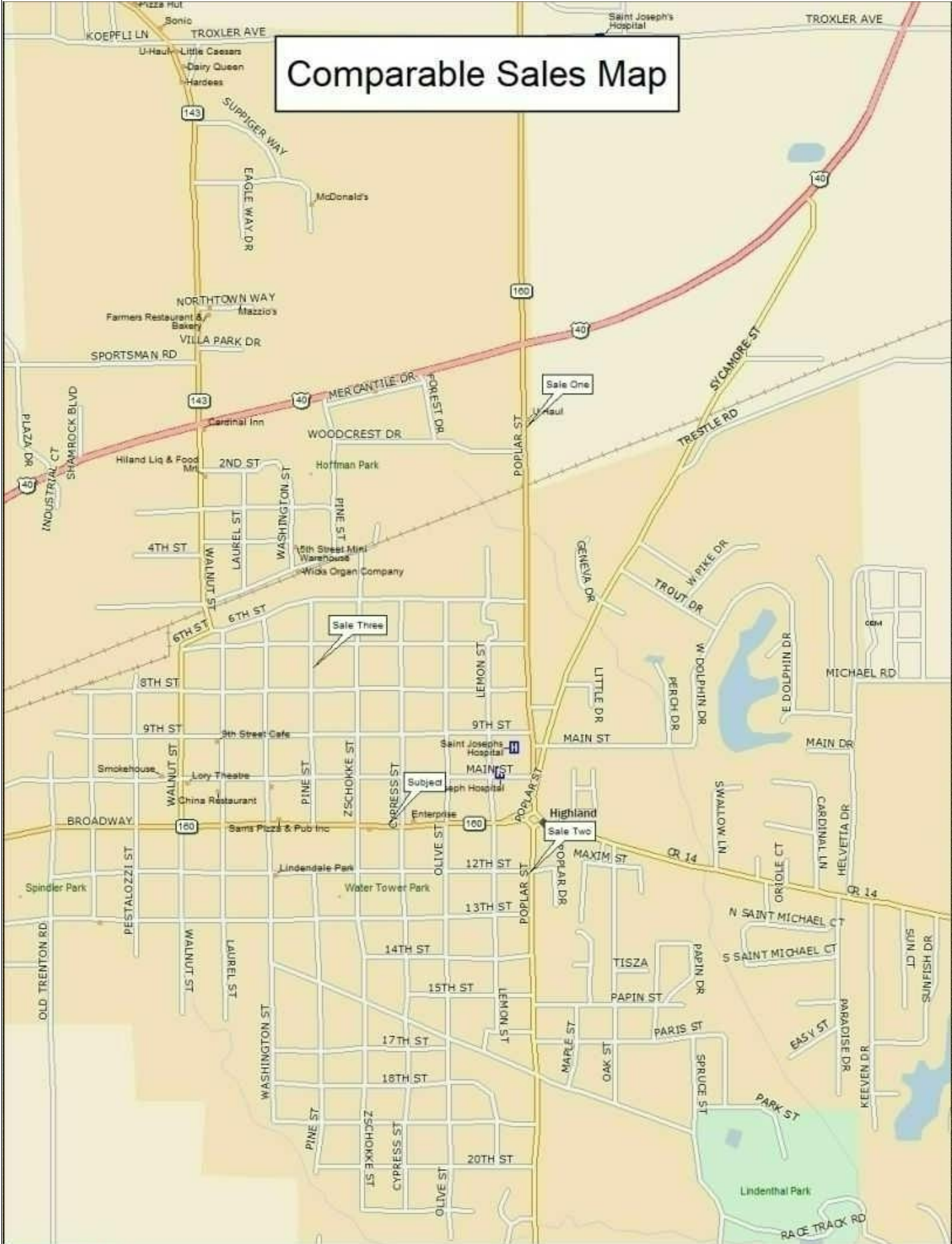
**COMPARABLE #** 2  
1504 12th Street  
Highland, IL 62249



**COMPARABLE #** 3  
715 Pine Street  
Highland, IL 62249



Borrower	N/A				
Property Address	1201 Broadway				
City	Highland	County	Madison	State	IL
Zip Code	62249				
Lender/Client	City of Highland				
Address	1001 Broadway, Highland Illinois, 62249				



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DJ Howard & Associates Inc.  
**COMMENT ADDENDUM**

File No. C20-110

Case No.

Borrower N/A

Property Address 1201 Broadway

City Highland County Madison State IL Zip Code 62249

Lender/Client City of Highland Address 1001 Broadway, Highland Illinois, 62249

### **SUBJECT NEIGHBORHOOD DESCRIPTION**

#### **The City of Highland**

The City of Highland is located in eastern Madison County, Illinois. Highland is surrounded by Pierron to the east, St. Jacob to the west, Trenton, Clinton County, to the south and Grantfork to the north. As of December of 2014, Highland was chosen as one of the top 24 cities to live, in Illinois. This information is according to Area Vibes.com, which ranks cities based on livability that includes factors such as crime rates, cost of living, high school graduation rates, employment and housing.

#### **Demographic Profile**

##### **Population**

The population of the City of Highland has increased during the past two decades which is consistent with smaller communities of Madison County. According to the U.S. Census, the estimated 2014 population was 9,894 residents, which represented an approximate -0.2 percent decrease from the 2010 level of 9,913 persons. The median age is 36.8 years, which is older than the median age for all residents of Illinois (36.6 years) and younger than the median age for the United States (37.2 years). Approximately 18.1 percent of the population is aged 65 or older compared with 12.1 percent of the United States as a whole.

More recent demographics are available from Site To Do Business Online ([www.stdb.com](http://www.stdb.com)). This data source utilizes ring studies for its data rather than municipal boundaries. The subject neighborhood is roughly defined as a five mile radius from the subject property. The subject market area has a current (2019) population of 16,632 which is an increase over the 2010 population estimate of 15,961 persons. This represents an average annual rate of change of approximately 0.45 percent. The 2024 projections for the five mile radius of the subject is for a population of 16,708 persons, or an average annual increase of 0.09 percent. The population within a one mile radius of the subject increased from 2010 to 2019 and is projected to increase at a rate of 0.19 percent per year for the five years from 2019 to 2024.

##### **Number of Households**

There are a total of 9,919 households located within the Highland area as of the 2010 Census. Approximately 65.6 percent are family households, while 34.4 percent are non-family households. Approximately 13.8 percent of these households have a 65 year old householder living alone. Overall, 26.8 percent of the households have a member 65 years or older.

There are currently 6,508 households within a five mile radius of the subject property. The average annual rate of increase in the number of households within five miles of the subject

DJ Howard & Associates Inc.  
**COMMENT ADDENDUM**

File No. C20-110

Case No.

Borrower N/A

Property Address 1201 Broadway

City Highland County Madison State IL Zip Code 62249

Lender/Client City of Highland Address 1001 Broadway, Highland Illinois, 62249

from the 2010 to 2019 period was 0.53 percent per year and is projected to increase by 0.14 percent per year for the 2019 to 2024 period. The number of households within a mile of the subject property increased by 0.81 percent per year from 2010 to 2019 period and is projected to continue to increase by 0.29 percent per year from 2019 to 2024.

### Housing Stock

There are a total of 4,283 housing units located in Highland, Illinois which are occupied by 4,013 households, indicating an overall occupancy rate of 93.7 percent. The homeowner vacancy rate is estimated to be 2.2 percent, while the renter vacancy rate is 7.0 percent. According to the most recent Census Data, 68.2 percent of the occupied housing units are owner-occupied and 31.8 percent are renter-occupied.

Of the total housing units, the vast majority (69.5 percent) are single family detached structures. Another 12.6 percent live in two- to four- family units and another 12.3 percent live in multi-family dwellings with greater than four units. Approximately 0.3 percent of the housing units are mobile homes as of the 2010 Census.

The median home value within a five mile radius of the subject property is \$190,538 compared to a median home value of \$234,154 for the U. S. In five years, median home value is projected to change by 1.99 percent annually to \$210,303.

### Employment Data

Of the total population age 16 and over (14,768 persons) or 63.9 percent were in the labor force as of 2010. The average commute time to work for Highland residents is 30.6 minutes. The current unemployment rate as estimated by the Illinois Department of Employment Security for Madison County as of December 2019 was 3.6 percent, which is down from 4.9 percent for December 2018. The corresponding unemployment rates for the State of Illinois and the United States as of December 2019 were 3.5 percent and 3.4 percent respectively.

### Household Income Distribution

The median household income for the five miles surrounding the subject property as of 2019 was \$67,767 in the market area as compared to \$60,548 for all U. S. households. The median household income is projected to be \$76,302 by 2024. The median household income for a one-mile radius of the subject property is currently \$73,821 per year, which is approximately 8.2 percent higher than the median household income for the five-mile radius of the subject property.

### Existing Infrastructure/Services

#### Transportation/Access

DJ Howard & Associates Inc.  
**COMMENT ADDENDUM**

File No. C20-110

Case No.

Borrower N/A

Property Address 1201 Broadway

City Highland County Madison State IL Zip Code 62249

Lender/Client City of Highland Address 1001 Broadway, Highland Illinois, 62249

Residents and tenants of the Highland area have fair access to Interstate 70 via Route 143 and 55 via U.S. Highway 40, which runs east and west. In addition, Illinois Route 160 runs north and south through the area.

### Municipal Services

The City of Highland has its own Police Department with 19 full time employees. The Fire Department is staffed by 32 volunteers. In addition, the city offers the typical municipal services of an emergency 911 system and rescue squad services. Zoning is controlled by the City of Highland.

### Schools

Highland provides its own school services for the city of Highland and the surrounding communities of Alhambra, Grantfork, Pierron, and New Douglas. In the City of Highland there are four public schools which include Highland Primary, Highland Upper Elementary, Highland Middle School, and Highland High School. Students from Alhambra, Grantfork, and New Douglas attend the “center” schools which include Alhambra Elementary for Kindergarten thru second grade, New Douglas Elementary for third and fourth grade, and Grantfork Elementary for fifth and sixth grade, and then attend Highland Middle School and Highland High School. There is one private elementary school, St. Paul Catholic School, and two private high schools. Mater Dei High School in Breese, and Father McGivney in Maryville, that are available to Highland students. Near by four year universities include McKendree College in Lebanon and Southern Illinois University-Edwardsville. In addition, Southwestern Illinois College in Belleville and Lewis and Clark Community College in Godfrey, offer associate degree’s in several areas of study, are within driving distance of the Highland area.

### Surrounding Land Uses

The surrounding land uses include primarily commercial uses along Broadway and single family residential uses to the north of the subject. The subject is located directly east of the City of Highland City Hall, directly west of Meredith Funeral Home, and surrounded by retail and restaurant uses.

### Summary

In summary, the subject property is located in Highland, Madison County, Illinois. The market area is defined as a five mile radius of the subject property. This market area has seen modest increases each year in population since 2010. Demographic projections from STDB online indicate that the population increases will continue for the next five years at a modest rate. The five-mile radius of the subject has a median household income that is higher than the U. S. median. The area appears to be stable with prospects for growth in the near term.

DJ Howard & Associates Inc.  
**COMMENT ADDENDUM**

File No. C20-110

Case No.

Borrower N/A

Property Address 1201 Broadway

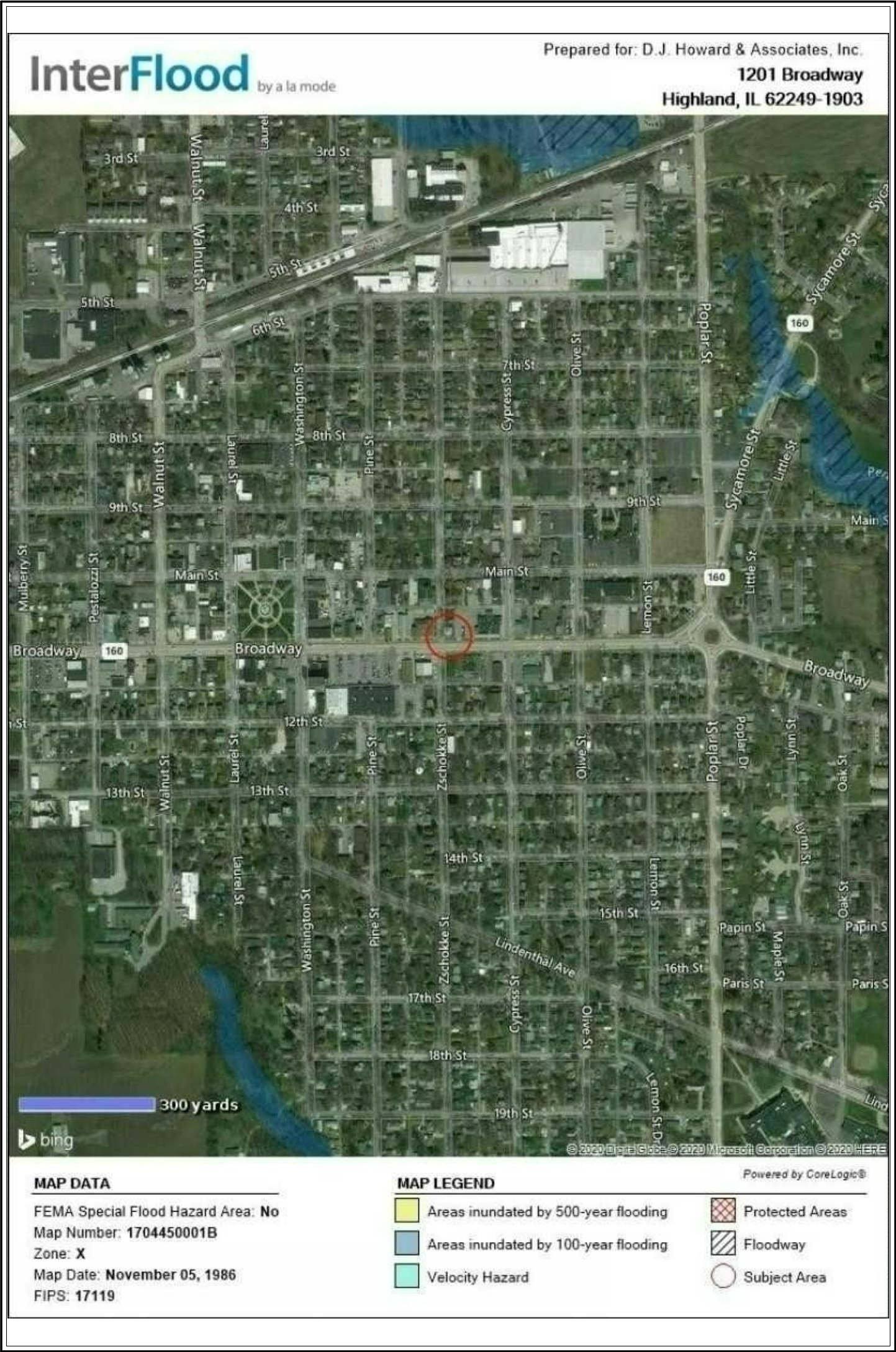
City Highland County Madison State IL Zip Code 62249

Lender/Client City of Highland Address 1001 Broadway, Highland Illinois, 62249





Borrower	N/A				
Property Address	1201 Broadway				
City	Highland	County	Madison	State	IL
				Zip Code	62249
Lender/Client	City of Highland				
	Address	1001 Broadway, Highland Illinois, 62249			





SUBJECT PHOTO ADDENDUM

File No. C20-110  
Case No.

Borrower	N/A						
Property Address	1201 Broadway						
City	Highland	County	Madison	State	IL	Zip Code	62249
Lender/Client	City of Highland		Address	1001 Broadway, Highland Illinois, 62249			



Kitchen  
(From Listing)



Dining Room  
(From Listing)

SUBJECT PHOTO ADDENDUM

File No. C20-110  
Case No.

Borrower	N/A						
Property Address	1201 Broadway						
City	Highland	County	Madison	State	IL	Zip Code	62249
Lender/Client	City of Highland		Address	1001 Broadway, Highland Illinois, 62249			



Bedroom  
(From Listing)



Bathroom  
(From Listing)



SUBJECT PHOTO ADDENDUM

File No. C20-110  
Case No.

Borrower	N/A						
Property Address	1201 Broadway						
City	Highland	County	Madison	State	IL	Zip Code	62249
Lender/Client	City of Highland		Address	1001 Broadway, Highland Illinois, 62249			



Basement  
(From Listing)



Detached Garage  
(From Listing)

SUBJECT PHOTO ADDENDUM

File No. C20-110  
Case No.

Borrower	N/A						
Property Address	1201 Broadway						
City	Highland	County	Madison	State	IL	Zip Code	62249
Lender/Client	City of Highland		Address	1001 Broadway, Highland Illinois, 62249			



Exterior- West Side



Exterior- East Side



SUBJECT PHOTO ADDENDUM

File No. C20-110  
Case No.

Borrower	N/A						
Property Address	1201 Broadway						
City	Highland	County	Madison	State	IL	Zip Code	62249
Lender/Client	City of Highland		Address	1001 Broadway, Highland Illinois, 62249			



Broadway looking west



Broadway looking east

**DEFINITION OF MARKET VALUE:** The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller, each acting prudently, knowledgeably and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby: (1) buyer and seller are typically motivated; (2) both parties are well informed or well advised, and each acting in what he considers his own best interest; (3) a reasonable time is allowed for exposure in the open market; (4) payment is made in terms of cash in U. S. dollars or in terms of financial arrangements comparable thereto; and (5) the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions\* granted by anyone associated with the sale.

\*Adjustments to the comparables must be made for special or creative financing or sales concessions. No adjustments are necessary for those costs which are normally paid by sellers as a result of tradition or law in a market; these costs are readily identifiable since the seller pays these costs in virtually all sales transactions. Special or creative financing adjustments can be made to the comparable property by comparisons to financing terms offered by a third party institutional lender that is not already involved in the property or transaction. Any adjustment should not be calculated on a mechanical dollar for dollar cost of the financing or concession but the dollar amount of any adjustment should approximate the market's reaction to the financing or concessions based on the appraiser's judgment.

## STATEMENT OF LIMITING CONDITIONS AND APPRAISER'S CERTIFICATION

**CONTINGENT AND LIMITING CONDITIONS:** The appraiser's certification that appears in the appraisal report is subject to the following conditions:

1. The appraiser will not be responsible for matters of a legal nature that affect either the property being appraised or the title to it. The appraiser assumes that the title is good and marketable and, therefore, will not render any opinions about the title. The property is appraised on the basis of it being under responsible ownership.
2. The appraiser has provided a sketch in the appraisal report to show approximate dimensions of the improvements and the sketch is included only to assist the reader of the report in visualizing the property and understanding the appraiser's determination of its size.
3. The appraiser has examined the available flood maps that are provided by the Federal Emergency Management Agency (or other data sources) and has noted in the appraisal report whether the subject site is located in an identified Special Flood Hazard Area. Because the appraiser is not a surveyor, he or she makes no guarantees, express or implied, regarding this determination.
4. The appraiser will not give testimony or appear in court because he or she made an appraisal of the property in question, unless specific arrangements to do so have been made beforehand.
5. The appraiser has estimated the value of the land in the cost approach at its highest and best use and the improvements at their contributory value. These separate valuations of the land and improvements must not be used in conjunction with any other appraisal and are invalid if they are so used.
6. The appraiser has noted in the appraisal report any adverse conditions (such as, needed repairs, depreciation, the presence of hazard wastes, toxic substances, etc.) observed during the inspection of the subject property or that he or she became aware of during the normal research involved in performing the appraisal. Unless otherwise stated in the appraisal report, the appraiser has no knowledge of any hidden or unapparent conditions of the property or adverse environmental conditions (including the presence of hazardous wastes, toxic substances, etc.) that would make the property more or less valuable, and has assumed that there are no such conditions and makes no guarantees or warranties, express or implied, regarding the condition of the property. The appraiser will not be responsible for any such conditions that do exist or for any engineering or testing that might be required to discover whether such conditions exist. Because the appraiser is not an expert in the field of environmental hazards, the appraisal report must not be considered as an environmental assessment of the property.
7. The appraiser obtained the information, estimates, and opinions that were expressed in the appraisal report from sources that he or she considers to be reliable and believes them to be true and correct. The appraiser does not assume responsibility for the accuracy of such items that were furnished by other parties.
8. The appraiser will not disclose the contents of the appraisal report except as provided for in the Uniform Standards of Professional Appraisal Practice.
9. The appraiser has based his or her appraisal report and valuation conclusion for an appraisal that is subject to satisfactory completion, repairs, or alterations on the assumption that completion of the improvements will be performed in a workmanlike manner.
10. The appraiser must provide his or her prior written consent before the lender/client specified in the appraisal report can distribute the appraisal report (including conclusions about the property value, the appraiser's identity and professional designations, and references to any professional appraisal organizations or the firm with which the appraiser is associated) to anyone other than the borrower; the mortgagee or its successors and assigns; the mortgage insurer; consultants; professional appraisal organizations; any state or federally approved financial institution; or any department, agency, or instrumentality of the United States or any state or the District of Columbia; except that the lender/client may distribute the property description section of the report only to data collection or reporting service(s) without having to obtain the appraiser's prior written consent. The appraiser's written consent and approval must also be obtained before the appraisal can be conveyed by anyone to the public through advertising, public relations, news, sales, or other media.


**APPRAISER'S CERTIFICATION:** The Appraiser certifies and agrees that:

1. I have researched the subject market area and have selected a minimum of three recent sales of properties most similar and proximate to the subject property for consideration in the sales comparison analysis and have made a dollar adjustment when appropriate to reflect the market reaction to those items of significant variation. If a significant item in a comparable property is superior to, or more favorable than, the subject property, I have made a negative adjustment to reduce the adjusted sales price of the comparable and, if a significant item in a comparable property is inferior to, or less favorable than the subject property, I have made a positive adjustment to increase the adjusted sales price of the comparable.
2. I have taken into consideration the factors that have an impact on value in my development of the estimate of market value in the appraisal report. I have not knowingly withheld any significant information from the appraisal report and I believe, to the best of my knowledge, that all statements and information in the appraisal report are true and correct.
3. I stated in the appraisal report only my own personal, unbiased, and professional analysis, opinions, and conclusions, which are subject only to the contingent and limiting conditions specified in this form.
4. I have no present or prospective interest in the property that is the subject to this report, and I have no present or prospective personal interest or bias with respect to the participants in the transaction. I did not base, either partially or completely, my analysis and/or the estimate of market value in the appraisal report on the race, color, religion, sex, handicap, familial status, or national origin of either the prospective owners or occupants of the subject property or of the present owners or occupants of the properties in the vicinity of the subject property.
5. I have no present or contemplated future interest in the subject property, and neither my current or future employment nor my compensation for performing this appraisal is contingent on the appraised value of the property.
6. I was not required to report a predetermined value or direction in value that favors the cause of the client or any related party, the amount of the value estimate, the attainment of a specific result, or the occurrence of a subsequent event in order to receive my compensation and/or employment for performing the appraisal. I did not base the appraisal report on a requested minimum valuation, a specific valuation, or the need to approve a specific mortgage loan.
7. I performed this appraisal in conformity with the Uniform Standards of Professional Appraisal Practice that were adopted and promulgated by the Appraisal Standards Board of The Appraisal Foundation and that were in place as of the effective date of this appraisal, with the exception of the departure provision of those Standards, which does not apply. I acknowledge that an estimate of a reasonable time for exposure in the open market is a condition in the definition of market value and the estimate I developed is consistent with the marketing time noted in the neighborhood section of this report, unless I have otherwise stated in the reconciliation section.
8. I have personally inspected the interior and exterior areas of the subject property and the exterior of all properties listed as comparables in the appraisal report. I further certify that I have noted any apparent or known adverse conditions in the subject improvements, on the subject site, or on any site within the immediate vicinity of the subject property of which I am aware and have made adjustments for these adverse conditions in my analysis of the property value to the extent that I had market evidence to support them. I have also commented about the effect of the adverse conditions on the marketability of the subject property.
9. I personally prepared all conclusions and opinions about the real estate that were set forth in the appraisal report. If I relied on significant professional assistance from any individual or individuals in the performance of the appraisal or the preparation of the appraisal report, I have named such individual(s) and disclosed the specific tasks performed by them in the reconciliation section of this appraisal report. I certify that any individual so named is qualified to perform the tasks. I have not authorized anyone to make a change to any item in the report; therefore, if an unauthorized change is made to the appraisal report, I will take no responsibility for it.

**SUPERVISORY APPRAISER'S CERTIFICATION:** If a supervisory appraiser signed the appraiser report, he or she certifies and agrees that: I directly supervise the appraiser who prepared the appraisal report, have reviewed the appraisal report, agree with the statements and conclusions of the appraiser, agree to be bound by the appraiser's certifications numbered 4 through 7 above, and am taking full responsibility for the appraisal and the appraisal report.

**ADDRESS OF PROPERTY APPRAISED:** 1201 Broadway, Highland, IL 62249

**APPRAISER:**

Signature:   
Name: Donna J Howard  
Date Signed: 04/10/2020  
State Certification #: 553.001267  
or State License #:   
State:   
Expiration Date of Certification or License: 09/01/2021

**SUPERVISORY APPRAISER** (only if required)

Signature:   
Name:   
Date Signed:   
State Certification #:   
or State License #:   
State:   
Expiration Date of Certification or License:   
☐ Did ☐ Did Not Inspect Property

APPRAISAL COMPLIANCE ADDENDUM

File No. C20-110  
Case No.

Borrower/Client <u>N/A</u>			
Address <u>1201 Broadway</u>		Unit No. _____	
City <u>Highland</u>	County <u>Madison</u>	State <u>IL</u>	Zip Code <u>62249</u>
Lender/Client <u>City of Highland</u>			

This Appraisal Compliance Addendum is included to ensure this appraisal report meets all USPAP 2016 requirements.

APPRAISAL AND REPORT IDENTIFICATION	
This Appraisal Report is one of the following types:	
<input checked="" type="checkbox"/> Appraisal Report	This report was prepared in accordance with the requirements of the Appraisal Report option of USPAP Standards Rule 2-2(a).
<input type="checkbox"/> Restricted Appraisal Report	This report was prepared in accordance with the requirements of the Restricted Appraisal Report option of USPAP Standards Rule 2-2(b). The intended user of this report is limited to the identified client. This is a Restricted Appraisal Report and the rationale for how the appraiser arrived at the opinions and conclusions set forth in the report may not be understood properly without the additional information in the appraiser's workfile.

ADDITIONAL CERTIFICATIONS	
I certify that, to the best of my knowledge and belief:	
<ul style="list-style-type: none"><li>· The statements of fact contained in this report are true and correct.</li><li>· The reported analyses, opinions, and conclusions are limited only by the reported assumptions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.</li><li>· Unless otherwise indicated, I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to parties involved</li><li>· Unless otherwise indicated, I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.</li><li>· I have no bias with respect to the property that is the subject of this report or the parties involved with this assignment.</li><li>· My engagement in this assignment was not contingent upon developing or reporting predetermined results.</li><li>· My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.</li><li>· My analyses, opinions, and conclusions were developed and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice that were in effect at the time this report was prepared.</li><li>· Unless otherwise indicated, I have made a personal inspection of the property that is the subject of this report.</li><li>· Unless otherwise indicated, no one provided significant real property appraisal assistance to the person(s) signing this certification (if there are exceptions, the name of each individual providing significant real property appraisal assistance is stated elsewhere in this report).</li><li>· This report has been prepared in accordance with Title XI of FIRREA as amended, and any implementing regulations.</li></ul>	


PRIOR SERVICES	
<ul style="list-style-type: none"><li>· <input checked="" type="checkbox"/> I have <b>NOT</b> performed services, as an appraiser or in another other capacity, regarding the property that is the subject of the report within the three-year period immediately preceding acceptance of this assignment.</li><li>· <input type="checkbox"/> <b>I HAVE</b> performed services, as an appraiser or in another capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment. Those services are described in the comments below.</li></ul>	

PROPERTY INSPECTION	
<ul style="list-style-type: none"><li>· I <input checked="" type="checkbox"/> <b>HAVE</b> made a personal inspection of the property that is the subject of this report.</li><li>· I <input type="checkbox"/> have <b>NOT</b> made a personal inspection of the property that is the subject of this report.</li></ul>	

APPRAISAL ASSISTANCE	
Unless otherwise noted, no one provided significant real property appraisal assistance to the person signing this certification. If anyone did provide significant assistance, they are hereby identified along with a summary of the extent of the assistance provided in the report.	

ADDITIONAL COMMENTS	
Additional USPAP related issues requiring disclosure and/or any state mandated requirements: <u>See Comment Addenda on Following Page.</u>	

MARKETING TIME AND EXPOSURE TIME FOR THE SUBJECT PROPERTY	
<input checked="" type="checkbox"/> A reasonable marketing time for the subject property is <u>180</u> day(s) utilizing market conditions pertinent to the appraisal assignment.	
<input checked="" type="checkbox"/> A reasonable exposure time for the subject property is <u>180</u> day(s).	

APPRAISER		SUPERVISORY APPRAISER (ONLY IF REQUIRED)	
<div>Signature </div> <div>Name <u>Donna J Howard</u></div> <div>Date of Signature <u>04/10/2020</u></div> <div>State Certification # <u>553.001267</u></div> <div>or State License # _____</div> <div>State <u>IL</u></div> <div>Expiration Date of Certification or License <u>09/01/2021</u></div> <div>Effective Date of Appraisal <u>April 1, 2020</u></div>		<div>Signature _____</div> <div>Name _____</div> <div>Date of Signature _____</div> <div>State Certification # _____</div> <div>or State License # _____</div> <div>State _____</div> <div>Expiration Date of Certification or License _____</div> <div>Supervisory Appraiser Inspection of Subject Property: <input type="checkbox"/> Did Not <input type="checkbox"/> Exterior Only from street <input type="checkbox"/> Interior and Exterior</div>	



DJ Howard & Associates Inc.  
**COMMENT ADDENDUM**

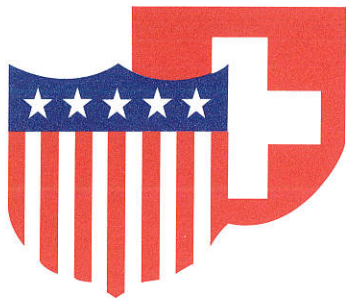
File No. C20-110  
Case No.

Borrower	N/A						
Property Address	1201 Broadway						
City	Highland	County	Madison	State	IL	Zip Code	62249
Lender/Client	City of Highland		Address 1001 Broadway, Highland Illinois, 62249				

### **Novel Coronavirus / COVID-19**

In March 2020, the global outbreak of a “novel coronavirus” known as COVID-19 was officially declared a pandemic by the World Health Organization (WHO). The reader is cautioned and reminded that the conclusions presented in the reference appraisal report apply only as of the effective date(s) indicated. The appraiser makes no representation as to the effect on the subject property of any unforeseen event, subsequent to the effective date of the appraisal.

The pandemic is anticipated to result in a steep rise in unemployment rates during 2020 (both locally and nationally). At a minimum, temporary disruptions to the local economy are expected, with longer-term ramifications also a possibility for certain sectors of the economy. The appraiser is not aware of any hard evidence demonstrating a drop in land values in the local market area. This report utilizes market data that transpired prior to March 2020, which do not reflect any market changes which may occur as a result of the pandemic.



# City of Highland

**To:** Mayor and Council Members

**From:** Mark Latham, City Manager

**Date:** April 27, 2020

**Subject:** Purchase of Property for Parking at City Hall and Fire Department

Enclosed is a contract to purchase the house at 1201 Broadway (across the street from city hall) for parking for city hall and the Fire Department. The contract is for \$70,000, contingent upon Council approval. This property has been on the market for at least 6 months and the price has come down significantly. The appraisal was for \$75,000.

I believe the city has a great opportunity to enhance and secure property for future development and parking. I recommend the Council consider the purchase.

Funding will come from General Fund Reserves

CITY OF HIGHLAND

WARRANT # 1164

May 4, 2020

001	General Fund	\$	104,513.43
006	TIF #1	\$	-
007	Community Development	\$	7.00
008	Motor Fuel Tax Fund	\$	333.60
009	Parks & Recreation Fund	\$	29,467.92
050	Street Bond	\$	2,801.25
101	Electric Fund	\$	12,840.98
012	Business District A	\$	5,529.44
111	Fiber To The Premise Fund	\$	9,136.82
208	Water Alt Bond Int & Red	\$	-
201	Water Fund	\$	50,876.60
301	Sewer Fund	\$	801,011.84
401	Ambulance Fund	\$	56,802.15
713	Solid Waste Fund	\$	126,707.23
706	Liability Insurance	\$	-
309	2013 Sewer Bond Construction	\$	-
802	Payroll Account	\$	-
TOTAL WARRANT		\$	1,200,028.26

\_\_\_\_\_  
CITY CLERK  
May 4, 2020

\_\_\_\_\_  
MAYOR

### Computer Check Proof List by Vendor

Invoice No	Description	Amount	Payment Date	Acct Number
Vendor: 2431 #1 JOB5478-S-20	Abacus Professional Services PROFESSIONAL LAND SURVEYING SERVICES FOR PUBLIC SAFETY BLDG	5,529.44	05/05/2020	Check Sequence: 1 012-012-5-505-00
	Check Total:	5,529.44		
Vendor: 3938	Ace Hardware			Check Sequence: 2
4219	ACE HARDWARE OPERATING SUPPLIES	18.99	05/05/2020	101-104-5-430-00
4219	ACE HARDWARE OPERATING SUPPLIES	40.82	05/05/2020	001-011-5-430-00
4219	ACE HARDWARE OPERATING SUPPLIES	83.39	05/05/2020	009-016-5-450-00
4219	ACE HARDWARE OPERATING SUPPLIES	100.54	05/05/2020	009-009-5-450-00
4219	ACE HARDWARE OPERATING SUPPLIES	18.82	05/05/2020	301-303-5-430-00
4219	ACE HARDWARE OPERATING SUPPLIES- ALLERGEN FILTERS	41.98	05/05/2020	401-401-5-430-00
4219	ACE HARDWARE OPERATING SUPPLIES	55.97	05/05/2020	101-101-5-430-00
4219	ACE HARDWARE OPERATING SUPPLIES	18.83	05/05/2020	201-203-5-430-00
4219	ACE HARDWARE OPERATING SUPPLIES	69.85	05/05/2020	101-104-5-450-00
4219	ACE HARDWARE OPERATING SUPPLIES	851.55	05/05/2020	009-016-5-430-00
4219	ACE HARDWARE OPERATING SUPPLIES	26.89	05/05/2020	009-715-5-450-00
4219	ACE HARDWARE OPERATING SUPPLIES	165.00	05/05/2020	009-715-5-430-00
4219	ACE HARDWARE OPERATING SUPPLIES	29.98	05/05/2020	001-014-5-430-00
	Check Total:	1,522.61		
Vendor: 2294 INV01149196	ADVANCED MEDIA TECHNOLOGIES, INC. Zxyl 8 port switch	719.20	05/05/2020	Check Sequence: 3 111-111-5-530-00
	Check Total:	719.20		
Vendor: 2632 9100341846	Airgas USA,LLC OXYGEN	170.75	05/05/2020	Check Sequence: 4 401-401-5-430-00
	Check Total:	170.75		
Vendor: 5194	AMAZON CAPITAL SERVICES			Check Sequence: 5
435466597669	OFFICE SUPPLIES FOR FRONT COUNTER DESK	44.87	05/05/2020	001-011-5-410-00
453699878365	Supplies for S & A	15.99	05/05/2020	001-000-0-157-00
457947675645	Supplies for Central Purchasing, Supplies for City Hall	285.53	05/05/2020	001-000-0-157-00
457957835489	SURGE PROTECTOR WITH USB FOR POLICE DEPT.	13.97	05/05/2020	001-012-5-430-00
459748363584	CARTRIDGE REPLACEMENT FOR DELL593-BBKE C2KTH	21.58	05/05/2020	111-111-5-410-00
463546579689	Supplies for City Hall	27.05	05/05/2020	001-000-0-157-00
464889998896	Supplies for W & S	39.88	05/05/2020	001-000-0-157-00
466598889873	Supplies for Elec. Dept.	5.90	05/05/2020	001-000-0-157-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-27.00	05/05/2020	001-013-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-11.00	05/05/2020	001-014-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-21.00	05/05/2020	001-017-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-75.00	05/05/2020	009-009-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-43.00	05/05/2020	009-016-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-32.00	05/05/2020	301-304-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-11.00	05/05/2020	301-303-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-11.00	05/05/2020	301-301-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-11.00	05/05/2020	301-304-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-21.00	05/05/2020	201-202-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-21.00	05/05/2020	009-503-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-43.00	05/05/2020	101-101-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-11.00	05/05/2020	201-201-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-139.00	05/05/2020	001-012-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-11.00	05/05/2020	101-102-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-147.98	05/05/2020	001-011-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-75.00	05/05/2020	401-401-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-11.00	05/05/2020	007-007-5-391-00
468778799964	CREDIT MEMO FOR ENTERPRISE INTERNAL HARD DRIVE 434876488748	-11.00	05/05/2020	101-104-5-391-00

1477059018	CARBAY CREST SUB	25.04	05/05/2020	101-104-5-330-00
5736662735 WTP	Utilities	71.12	05/05/2020	201-202-5-330-00
7516714005	GAS CHARGE	129.45	05/05/2020	201-203-5-330-00
7516714005	GAS CHARGE	129.43	05/05/2020	301-303-5-330-00
7516714005	GAS CHARGE	129.45	05/05/2020	001-013-5-330-00
7516714005	GAS CHARGE	258.90	05/05/2020	101-101-5-330-00
7952834891	GAS CHARGE	59.27	05/05/2020	101-102-5-330-00
	Check Total:	802.66		
Vendor: 3076	ANIXTER, INC.			Check Sequence: 7
4560713-00	HAND SANITIZER	220.35	05/05/2020	101-101-5-440-00
4582381-00	6M-1201-02	140.00	05/05/2020	101-104-5-540-30
	Check Total:	360.35		
Vendor: 2058	Aramark Uniform Services			Check Sequence: 8
315988817	MARCH RUG SERVICES	5.75	05/05/2020	101-101-5-390-00
315988818	MARCH UNIFORM AND RUG SERVICES	30.01	05/05/2020	101-102-5-390-00
315988819	MARCH RUG SERVICES	38.97	05/05/2020	111-111-5-390-00
315988826	MARCH RUG SERVICES	46.50	05/05/2020	001-011-5-390-00
316015166	MARCH RUG SERVICES	35.05	05/05/2020	101-101-5-390-00
316015167	MARCH UNIFORM AND RUG SERVICES	35.15	05/05/2020	101-102-5-390-00
316015175	MARCH RUG SERVICES	25.50	05/05/2020	001-012-5-390-00
316041523	MARCH RUG SERVICES	5.75	05/05/2020	101-101-5-390-00
316041524	MARCH UNIFORM AND RUG SERVICES	30.01	05/05/2020	101-102-5-390-00
316041525	MARCH RUG SERVICES	38.97	05/05/2020	111-111-5-390-00
316068024	MARCH RUG SERVICES	35.05	05/05/2020	101-101-5-390-00
316068025	MARCH UNIFORM AND RUG SERVICES	35.15	05/05/2020	101-102-5-390-00
316068033	MARCH RUG SERVICES	25.50	05/05/2020	001-012-5-390-00
	Check Total:	387.36		
Vendor: 2715	AT&T MOBILITY			Check Sequence: 9
287237079690X	EMS AIR CARDS	68.20	05/05/2020	401-401-5-390-50
	Check Total:	68.20		
Vendor: 237	Banner Fire Equipment Inc			Check Sequence: 10
01P14932	VULCAN 180 CAHRGER	15.86	05/05/2020	001-014-5-430-00
01S5874	RADIO/STEREO REPAIR FOR UNIT 1523	131.25	05/05/2020	001-014-5-360-10
	Check Total:	147.11		
Vendor: 356	Breathing Air Systems Div			Check Sequence: 11
1132182-IN	SERVICE CALL ON 4/16/2020- /XLBIL	428.40	05/05/2020	001-014-5-360-00
	Check Total:	428.40		
Vendor: 5006	Brenntag Mid South Inc			Check Sequence: 12
BMS570772	Lime	930.00	05/05/2020	201-202-5-490-00
BMS570772	Chlorine	480.00	05/05/2020	201-202-5-490-00
	Check Total:	1,410.00		
Vendor: 360	Broadway Battery & Tire			Check Sequence: 13
G129837	Install Tube in tire, labor - Backhoe	20.80	05/05/2020	201-203-5-460-00
G129837	Install Tube in tire, labor - Backhoe	20.80	05/05/2020	301-303-5-460-00
	Check Total:	41.60		
Vendor: 3308	BUDGET SIGNS TROPHIES & PLAQUES			Check Sequence: 14
84230	ACCOUNTABILITY TAGS	40.00	05/05/2020	001-014-5-430-00
84278	ACCOUNTABILITY TAGS- BARTELS HIFD	6.00	05/05/2020	001-014-5-430-00
	Check Total:	46.00		
Vendor: 1863	Butler Supply Inc			Check Sequence: 15
13628791	COUPLING AND BUSHING	7.80	05/05/2020	101-104-5-430-00
	Check Total:	7.80		
Vendor: 712	Calix Networks Inc			Check Sequence: 16
214384	BVMH400DRA Gigaspire Blasts	614.56	05/05/2020	111-111-5-530-00
4011931	EXOS TERM LICENSE - ANNUAL LICENSE	525.00	05/05/2020	111-111-5-390-50
	Check Total:	1,139.56		
Vendor: 454	City Of Highland			Check Sequence: 17
SENIORCENTER	UPGRADING WATER SERVICE FROM 3/4" TO 1 1/2"- SENIOR CENTER	2,150.00	05/05/2020	009-016-5-380-00
	Check Total:	2,150.00		
Vendor: 456	City Of Highland			Check Sequence: 18
009697-000	UTILITY CHARGE	177.58	05/05/2020	001-013-5-330-00
009697-000	UTILITY CHARGE	414.34	05/05/2020	101-101-5-330-00
009697-001	UTILITY CHARGE	56.85	05/05/2020	101-102-5-330-00
009697-004	UTILITY CHARGE	1,649.02	05/05/2020	101-102-5-330-00
009697-008	UTILITY CHARGE	37.54	05/05/2020	101-102-5-330-00

009697-009	UTILITY CHARGE	780.08	05/05/2020	101-102-5-330-00
009697-010	UTILITY CHARGE	3,084.67	05/05/2020	101-102-5-330-00
009697-027	UTILITY CHARGE	9.55	05/05/2020	101-102-5-330-00
009697-028	UTILITY CHARGE	15.00	05/05/2020	101-102-5-330-00
Check Total:		6,224.63		
Vendor: 451	City Of Highland Electric			Check Sequence: 19
010097-000	UTILITIES- KRC	7,712.78	05/05/2020	009-009-5-330-00
010097-002 004	UTILITIES- CEMETERY	57.27	05/05/2020	009-715-5-330-00
010097-003	UTILITIES- PARKS	1,840.59	05/05/2020	009-016-5-330-00
010097-009	UTILITIES- ODP	57.99	05/05/2020	009-503-5-330-00
010097-014 013	UTILITIES- WCC	1,183.94	05/05/2020	009-016-5-330-00
Check Total:		10,852.57		
Vendor: 464	City Utilities			Check Sequence: 20
005784-000	POLICE STATION UTILITIES MAR-APRIL 2020	843.08	05/05/2020	001-012-5-330-00
005784-002	POLICE RADIO TOWER UTILITIES MAR-APRIL 2020	121.81	05/05/2020	001-012-5-330-00
005784-003	POLICE RADIO SHED UTILITIES MAR-APRIL 2020	18.70	05/05/2020	001-012-5-330-00
006518-000	Utilities	170.56	05/05/2020	301-301-5-330-00
006518-002	Utilities	67.51	05/05/2020	001-017-5-330-00
006518-003	Utilities	460.10	05/05/2020	001-017-5-330-00
006518-005	Utilities	159.77	05/05/2020	301-303-5-330-00
006518-005	Utilities	159.77	05/05/2020	201-203-5-330-00
006518-006	Utilities	107.20	05/05/2020	301-303-5-330-00
006518-006	Utilities	107.21	05/05/2020	201-203-5-330-00
006518-007	Utilities	87.50	05/05/2020	201-203-5-330-00
006518-007	Utilities	87.51	05/05/2020	301-303-5-330-00
006518-009	Utilities	10.20	05/05/2020	001-017-5-330-00
006518-022	Utilities	13,113.00	05/05/2020	301-304-5-330-00
006518-023	Utilities	70.61	05/05/2020	301-304-5-330-22
006518-024	Utilities	82.92	05/05/2020	301-304-5-330-22
006518-025	Utilities	30.62	05/05/2020	301-305-5-330-00
006518-026	Utilities	51.37	05/05/2020	301-304-5-330-22
006518-027	Utilities	33.03	05/05/2020	301-304-5-330-22
006518-028	Utilities	48.57	05/05/2020	201-202-5-330-00
006518-031	Utilities	857.48	05/05/2020	201-202-5-330-00
006518-032	Utilities	8,970.95	05/05/2020	201-202-5-330-00
006518-033	Utilities	24.92	05/05/2020	201-202-5-330-00
006518-035	Utilities	1,146.93	05/05/2020	301-304-5-330-00
006518-036	Utilities	104.87	05/05/2020	001-017-5-330-00
006519-000	UTILITIES- CITY HALL	1,060.02	05/05/2020	001-011-5-330-00
006736-000	UTILITIES- STATION #1	178.80	05/05/2020	001-014-5-330-00
006736-001	UTILITIES- STATION #2	353.31	05/05/2020	001-014-5-330-00
006736-002	UTILITIES- HELIPRT	24.22	05/05/2020	401-401-5-330-00
006736-003	UTILITIES- SILVER LAKE RD	11.04	05/05/2020	001-014-5-330-00
Check Total:		28,563.58		
Vendor: 3422	Clinton County Garage Door			Check Sequence: 21
3828	REAR GARAGE REMOTE	510.00	05/05/2020	101-104-5-380-00
Check Total:		510.00		
Vendor: 5491	KIMBERLY A. COLE			Check Sequence: 22
1187	PRETREATMENT CONSULTING SERVICES	3,937.50	05/05/2020	301-305-5-230-00
Check Total:		3,937.50		
Vendor: 2822	Compustitch Embroidery			Check Sequence: 23
15973	CITY LOGO ON UNIFORM SHIRT- DATED 3/22/2018- DSCHMITT	40.00	05/05/2020	009-016-5-440-00
16082	7- Logos sewn on	63.00	05/05/2020	001-017-5-440-00
16186	3 shirts w/logo for Chris and 3 shirts w/ logo for Dylan 6/28/18	120.00	05/05/2020	001-013-5-440-00
16301	CITY LOGO ON UNIFORM SHIRT- DATED 10/29/2018- MHUBBARD	18.00	05/05/2020	007-007-5-390-00
16391	JASON WIEGAND SHIRTS	81.00	05/05/2020	101-104-5-440-00
17459	CITY LOGO ON UNIFORM SHIRT- DATED 4/30/2019- BRADK	104.00	05/05/2020	009-016-5-440-00
Check Total:		426.00		
Vendor: 2527	Constellation NewEnergy Gas Division, LLC			Check Sequence: 24
2880340	GAS SERVICE	25.82	05/05/2020	001-012-5-330-00
2880340	GAS SERVICE	158.36	05/05/2020	001-017-5-330-00
2880340	GAS SERVICE	40.69	05/05/2020	111-111-5-330-00
2880340	GAS SERVICE	34.03	05/05/2020	001-014-5-330-00
2880340	GAS SERVICE	897.46	05/05/2020	009-009-5-330-00
2880340	GAS SERVICE	16.61	05/05/2020	201-202-5-330-00
2880340	GAS SERVICE	144.52	05/05/2020	201-201-5-330-00
2880340	GAS SERVICE	51.35	05/05/2020	001-014-5-330-00
2880340	GAS SERVICE	66.93	05/05/2020	009-016-5-330-00
Check Total:		1,435.77		
Vendor: 2189	CONTINENTAL RESEARCH CORPORATION			Check Sequence: 25
0013567	4CQ PLUS (4x1)	469.61	05/05/2020	401-401-5-430-00
Check Total:		469.61		
Vendor: 5695	CSUK, INC.			Check Sequence: 26



INV-070726	MISC REPAIR FOR SIRIANNI- SHORTED MIC REPAIRED	12.00	05/05/2020	001-012-5-360-00
	Check Total:	12.00		
Vendor: 5698 INV05022020	KRISTEN DAVIS REFUND FOR PARTY- CANCELLED DUE TO COVID	150.00	05/05/2020	Check Sequence: 27 009-009-4-347-79
	Check Total:	150.00		
Vendor: 2611 10385853910	Dell Marketing L P Laptop for Building and Zoning	849.99	05/05/2020	Check Sequence: 28 001-013-5-530-00
	Check Total:	849.99		
Vendor: 5050 610044980629 610044980629 610044980629 610044980629	DexYP APRIL PHONE LISTING APRIL PHONE LISTING APRIL PHONE LISTING APRIL PHONE LISTING	37.07 53.27 88.20 49.57	05/05/2020 05/05/2020 05/05/2020 05/05/2020	Check Sequence: 29 001-012-5-390-00 111-111-5-390-00 001-011-5-390-00 101-101-5-390-00
	Check Total:	228.11		
Vendor: 5682 1043 1060	DIVERSIFIED DIESEL SERVICES, LLC MTN/REPAIRS TO UNTI # 1543 MTN/REPAIRS TO UNTI # 1542	2,119.38 1,660.55	05/05/2020 05/05/2020	Check Sequence: 30 401-401-5-360-10 401-401-5-360-10
	Check Total:	3,779.93		
Vendor: 429 0338	Don's Lawn & Saw Shop MTN/REPAIRS TO LAWN MOWER	172.95	05/05/2020	Check Sequence: 31 009-016-5-360-00
	Check Total:	172.95		
Vendor: 20045 04-28-2020 PW	Dr. Wood Trees & Landscape Sector 1 tree work & removal, trim, & stump removal.	2,200.00	05/05/2020	Check Sequence: 32 001-017-5-390-22
	Check Total:	2,200.00		
Vendor: 2820 320-1475	Electrico Inc IL 160 & Troxler Ave. - Work Request C1475	132.50	05/05/2020	Check Sequence: 33 001-017-5-390-00
	Check Total:	132.50		
Vendor: 679 30475 30477 30478 30479 30480 30563 30566 30567 30568 30569 30571 30572 30573 30574 30575 30610	Essenpreis Plumbing & Htg DEWINTERIZED THE CITY SQUARE FOUNTAIN DEWINTERIZED THE TOT LOT PARK DEWINTERIZED SPINDLER PARK RESTROOMS DEWINTERIZED RINDERER PARK DEWINTERIZED GLIK PARK DRINKING FOUNTAIN LILA'S GARDEN- TESTED BACK FLOW PREVENTER DEWINTERIZED CITY LAKE RESTROOM DEWINTERIZED SILVER LAKE RESTROOM (ARCHERY) DEWINTERIZED THE QB CLUB RESTROOMS DEWINTERIZED GLIK PARK WIRZ #3 GLIK PARK GARDEN CLUB INSTALLED BACK FLOW PREVENTERS AND TURNED WTR TO THEM- GLIK PARK TESTED 7 BACK FLOW PREVENTERS- IRRIGATION SYSTEMS ROUND ABOUT ON POPLAR- TESTED WILKINS ZURN ON IRRIGATION LINE ROUND ABOUT ON IBERG- TESTED BACK FLOW NEW TOILET INSTALLATION AT PD	220.00 110.00 330.00 391.10 110.00 250.80 220.00 220.00 595.15 339.80 598.42 720.00 785.48 82.00 82.00 562.05	05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020	Check Sequence: 34 009-016-5-390-00 009-016-5-390-00 009-016-5-390-00 009-016-5-390-00 009-016-5-390-00 009-016-5-390-00 009-016-5-390-00 009-016-5-390-00 009-016-5-390-00 009-016-5-390-00 009-016-5-390-00 009-016-5-390-00 009-016-5-390-00 009-016-5-390-00 001-012-5-380-00
	Check Total:	5,616.80		
Vendor: 1186 738529160	FCB Highland Bank 2017 FORD F 450 AMBULANCE PAYMENT	51,559.67	05/05/2020	Check Sequence: 35 401-401-5-530-00
	Check Total:	51,559.67		
Vendor: 4089 B-19-190108 B-19-190140 B-19-190273 B-20-020027	Leslie E Fear 275 Brentmoor Ct - Service Panel Inspection 2923 Herzog Ln - Electrical Rough-in Inspection 239 Carter Ridge Dr - Final Electrical Inspection 330 Hampton Ct - Electric Rough-in Inspection	22.50 360.00 60.00 54.00	05/05/2020 05/05/2020 05/05/2020 05/05/2020	Check Sequence: 36 001-013-5-390-81 001-013-5-390-81 001-013-5-390-81 001-013-5-390-81
	Check Total:	496.50		
Vendor: 2945 115870	Fire Master Fire Equipment UNIFORM SUPPLIES- SUSPENDERS	178.50	05/05/2020	Check Sequence: 37 001-014-5-440-00
	Check Total:	178.50		
Vendor: 745 S1217515.001 S1218169.002 S1219478.001	Fletcher Reinhardt Company UTF-1205 RLSS750-6I (C587003201) 1/4"X 2"X12" Bus Bar	363.00 373.92 155.93	05/05/2020 05/05/2020 05/05/2020	Check Sequence: 38 101-104-5-430-00 101-104-5-430-00 101-104-5-430-00
	Check Total:	892.85		
Vendor: 2670	Foppe Designs Inc			Check Sequence: 39

21741	I-70 BILLBOARD REPLACEMENT	2,400.00	05/05/2020	001-011-5-390-31
	Check Total:	2,400.00		
Vendor: 162 678956-00	Forestry Suppliers Inc REACHER D.O.T 48" 60" 72"	258.56	05/05/2020	Check Sequence: 40 009-016-5-470-00
	Check Total:	258.56		
Vendor: 8299 30003485 3003486	FS Turf Solutions NUTRIPEL 50LB BAG, IN FLOW 50LB BAG NUTRIPEL 50LB BAG, IN FLOW 50LB BAG	232.20 103.40	05/05/2020 05/05/2020	Check Sequence: 41 009-016-5-490-00 009-016-5-490-00
	Check Total:	335.60		
Vendor: 5699 GILLSON	COURTNEY GILLSON KRC PARTY RENTAL REFUNDS	135.00	05/05/2020	Check Sequence: 42 009-009-4-347-79
	Check Total:	135.00		
Vendor: 5704 779765	AMY GLOWACKI PARTY REFUND	120.00	05/05/2020	Check Sequence: 43 009-009-4-347-79
	Check Total:	120.00		
Vendor: 5703 781764	CHRIS GOCLAN PARTY RENTAL REFUND	135.00	05/05/2020	Check Sequence: 44 009-009-4-347-79
	Check Total:	135.00		
Vendor: 858 9315271097	Graybar Allied Bolt - 5/16X 3 1/2" DRIVE HOOK	207.02	05/05/2020	Check Sequence: 45 111-111-5-470-00
	Check Total:	207.02		
Vendor: 5375 INVREIMB.	CHRISTOPHER HARTSOE REIMBURSEMENT FOR FUNNEL AND BLUE DEF FLUID FOR AMBULANCE	19.84	05/05/2020	Check Sequence: 46 401-401-5-360-10
	Check Total:	19.84		
Vendor: 2385 MARCH2020	Highland Area Christian Servic MARCH GOOD SAMARITAN	1,094.81	05/05/2020	Check Sequence: 47 001-011-5-390-00
	Check Total:	1,094.81		
Vendor: 1423 200-301537	Highland Communication Services HCS SERVICES- HCS BLDG	493.39	05/05/2020	Check Sequence: 48 111-111-5-390-50
	Check Total:	493.39		
Vendor: 1014 19046	Houseman Supply Inc MTN/REPAIRS TO UNIT HEATER- CEMETARY	98.00	05/05/2020	Check Sequence: 49 009-715-5-380-00
	Check Total:	98.00		
Vendor: 3753 8001563	JANSEN CHEVROLET INSPECTION FOR TRUCK # 59	33.00	05/05/2020	Check Sequence: 50 101-104-5-360-10
	Check Total:	33.00		
Vendor: 5661 0034777	JERRY'S TRANSMISSION SERVICE, INC. FENDERETTE GORDON ALUM 19.625" RADIUS	194.40	05/05/2020	Check Sequence: 51 401-401-5-450-00
	Check Total:	194.40		
Vendor: 175 APP3- 20200415	Keller Construction Inc WALNUT & MAIN PARKING LOT PROJECT 19-068-	82,364.47	05/05/2020	Check Sequence: 52 001-017-5-550-00
	Check Total:	82,364.47		
Vendor: 5697 783960	ROBERTA KINDER ACTIVITY REGISTRATION REFUND	63.00	05/05/2020	Check Sequence: 53 009-016-4-371-66
	Check Total:	63.00		
Vendor: 1203 367102	Kohnen Concrete Products, Inc. 6' Parking Curbs, Parking Curb Pins	270.00	05/05/2020	Check Sequence: 54 009-016-5-430-00
	Check Total:	270.00		
Vendor: 5702 19110	KOHRMANN ELECTRIC CO INC LABOR AND MATERIAL TO HOOK UP AIR COMPRESSOR AT STATION2	587.53	05/05/2020	Check Sequence: 55 001-014-5-380-00
	Check Total:	587.53		
Vendor: 24 B-19-190042 B-19-190043 B-19-190145	Craig Loyet 240 Flax Dr - Plumbing Rough-in Inspection 244 Flax Dr - Plumbing Rough-in Inspection 2936 HERZOG LN- UNDERFLOOR PLUMBING	190.00 190.00 225.00	05/05/2020 05/05/2020 05/05/2020	Check Sequence: 56 001-013-5-390-82 001-013-5-390-82 001-013-5-390-82

B-20-020018	1209 12th St - Plumbing Rough-in Inspection	15.00	05/05/2020	001-013-5-390-82
B-20-020027	330 Hampton Ct - Plumbing Rough-in Inspection	25.00	05/05/2020	001-013-5-390-82
	Check Total:	645.00		
Vendor: 2941 2020-04H	MADISON COUNTY INFORMATION TECHNOLOGY MADISON CO. LEADS LEASE	24.28	05/05/2020	Check Sequence: 57 001-012-5-340-00
	Check Total:	24.28		
Vendor: 3059 686	MADISON COUNTY MAPS & PLATS GIS DIV Screen Print from Devnet- Surrounding owners - 1214 Lindenthal	18.50	05/05/2020	Check Sequence: 58 001-013-5-430-00
	Check Total:	18.50		
Vendor: 1924 814710	McKay Auto Parts Inc Oil, Fuel, Air Filters Hexbit Skt.	149.05	05/05/2020	Check Sequence: 59 001-017-5-450-00
	Check Total:	149.05		
Vendor: 2643 HIGHLAND-43921	MEREDITH CORPORATION FEBRUARY VIDEO CONTENT FEE	6,216.75	05/05/2020	Check Sequence: 60 111-111-5-390-52
	Check Total:	6,216.75		
Vendor: 4985 197	Mettler Development LLC EXTRA WORK REQUIRED TO GAIN ACCESS TO PROP. FOR DEMO CONTRACT	2,800.00	05/05/2020	Check Sequence: 61 001-013-5-390-84
	Check Total:	2,800.00		
Vendor: 5701 MICHAEL	BOBBIE MICHAEL KRC PARTY RENTAL REFUND	160.00	05/05/2020	Check Sequence: 62 009-009-4-347-79
	Check Total:	160.00		
Vendor: 1386 2015446 2015618	Midwest Municipal Supply Inc SUPPLIES FOR HYDRANTS AT THE SQUARE 3/4"x3- 1/2 " Cor Blue T Bolt & Nut, 5/8"x3" Cor BLue T Bolt&Nut	161.20 82.32	05/05/2020 05/05/2020	Check Sequence: 63 009-016-5-450-00 201-203-5-430-00
	Check Total:	243.52		
Vendor: 2555 35830	Mike A Maedge Trucking Inc CM6 Rock, Casper Stolle 4/720 & 4/8/20 Delivery Tickets	1,401.14	05/05/2020	Check Sequence: 64 009-016-5-430-00
	Check Total:	1,401.14		
Vendor: 2461 0650881-IN 0650881-IN 0650881-IN 0650881-IN 0650881-IN 0650881-IN 0650881-IN 0650881-IN 0650881-IN	Neumayer Equipment Co Inc Diesel Fuel System Repair/Service Call 4/9/2020. Diesel Fuel System Repair/Service Call 4/9/2020. Diesel Fuel System Repair/Service Call 4/9/2020. Diesel Fuel System Repair/Service Call 4/9/2020. Diesel Fuel System Repair/Service Call 4/9/2020. Diesel Fuel System Repair/Service Call 4/9/2020. Diesel Fuel System Repair/Service Call 4/9/2020. Diesel Fuel System Repair/Service Call 4/9/2020. Diesel Fuel System Repair/Service Call 4/9/2020.	56.87 56.88 28.44 56.87 56.88 28.44 56.87 56.88 56.88	05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020	Check Sequence: 65 009-016-5-360-00 401-401-5-360-00 201-203-5-360-00 001-014-5-360-00 001-017-5-360-00 301-303-5-360-00 111-111-5-360-00 101-101-5-360-00
	Check Total:	398.13		
Vendor: 1512 7608-192263 7608-194034 7608-198262 7608-198692 7608-198693 7608-198697	Northtown Auto & Tractor NIF LED Light Pigtail Micro-V Belt purchase w/ return of Inv. 198259 OIL/FUEL/AIR FILTERS OIL/FUEL/AIR FILTERS- RETURN OIL FILTER HD LUBE	148.83 2.29 8.00 103.84 -12.99 17.39	05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020	Check Sequence: 66 001-017-5-460-00 001-017-5-460-00 001-017-5-450-00 111-111-5-360-10 111-111-5-360-10 111-111-5-360-10
	Check Total:	267.36		
Vendor: 1518 1675814 1680835 1680836	Nu Way Concrete Forms Troy LLC Sait 4-1/2"x5/64"x7/8" Metal Cut Off Wheel Dewatering Pump Concrete Bull Float Kit	30.60 339.00 465.65	05/05/2020 05/05/2020 05/05/2020	Check Sequence: 67 001-017-5-430-00 001-017-5-430-00 001-017-5-430-00
	Check Total:	835.25		
Vendor: 20167 INV04162020	Joshua O'Toole CITY FOUNTAIN MTN/REPAIRS	2,200.00	05/05/2020	Check Sequence: 68 009-016-5-390-00
	Check Total:	2,200.00		
Vendor: 3462 22569	OCCUPATIONAL HEALTH & WELLNESS EMPLOYMENT PHYSICAL- BRIAR WEISS	85.00	05/05/2020	Check Sequence: 69 101-101-5-390-00
	Check Total:	85.00		
Vendor: 4146 19412164 19412262 19412840	PDC Laboratories Inc Fluoride by probe Disinfectant/Disinfection ByProducts Pkg. TOC & Field Alkalinity Pkg. Total Organic Carbon	18.00 400.00 80.00	05/05/2020 05/05/2020 05/05/2020	Check Sequence: 70 201-202-5-390-23 201-202-5-390-23 201-202-5-390-23

	Check Total:	498.00		
Vendor: 2474 9	Plocher Construction Company, Inc. HIGHLAND WATER RECLAMATION FACILITY IMPROVEMENTS	779,867.10	05/05/2020	Check Sequence: 71 301-304-5-550-00
	Check Total:	779,867.10		
Vendor: 1773 56459969 56459969 56463076	Power Line Supply GLOVE TESTING GLOVE TESTING 76-120SP Mid Central Electric Fixed Load	660.00 110.00 2,453.75	05/05/2020 05/05/2020 05/05/2020	Check Sequence: 72 101-104-5-440-00 101-104-5-390-00 101-104-5-540-20
	Check Total:	3,223.75		
Vendor: 3377 20200269 20200277 20200311	Quality Testing & Eng Inc HIGHLAND WATER RECLAMATION FAC BROADWAY RESURFACING 97712 MAIN STREET PARKING- HIGHLAND	1,714.15 2,801.25 513.00	05/05/2020 05/05/2020 05/05/2020	Check Sequence: 73 301-304-5-550-00 050-050-5-540-10 001-017-5-550-00
	Check Total:	5,028.40		
Vendor: 20789 INV02404139	Quench USA, Inc WATER MACHINE AT KRC	55.00	05/05/2020	Check Sequence: 74 009-009-5-390-00
	Check Total:	55.00		
Vendor: 4211 2004-251761 2004-316839	R P Lumber Co Inc PVC COUPLING MCA TREATED #2	9.03 26.00	05/05/2020 05/05/2020	Check Sequence: 75 101-104-5-430-00 009-016-5-430-00
	Check Total:	35.03		
Vendor: 969 835741	Red E Mix LLC 4000 PSI O/S Flatwork - 4/7/2020 Ticket 60124543	969.00	05/05/2020	Check Sequence: 76 009-016-5-430-00
	Check Total:	969.00		
Vendor: 1238 2117509	Reding Tire & Battery Inc CAR 6 NEW BATTERY	120.00	05/05/2020	Check Sequence: 77 001-012-5-360-10
	Check Total:	120.00		
Vendor: 2224 248916 248916 248916 248916 248916 248916 249440	ROBERT (BOB) SANDERS WASTE SYSTEMS, INC. PW RECYCLING SERVICES 2610 PLAZA DR RECYCLING SERVICES PD RECYCLING SERVICES KRC RECYCLING SERVICES CITY HALL RECYCLING SERVICES RESIDENTIAL AND COMMERCIAL TRASH SERVICES TEMPORARY DUMPSTER SERVICES	7.50 15.00 15.00 15.00 7.50 118,139.45 8,283.90	05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020	Check Sequence: 78 301-301-5-390-00 001-013-5-390-00 001-012-5-390-00 009-009-5-390-00 001-011-5-390-00 713-713-5-390-00 713-713-5-390-00
	Check Total:	126,483.35		
Vendor: 5689 110139	SCBAS INC HOSE, COUPLING	270.21	05/05/2020	Check Sequence: 79 001-014-5-460-00
	Check Total:	270.21		
Vendor: 1884 S1159295.003	Schulte Supply Inc SUPPLIES FOR HYDRANTS AT THE SQUARE	994.00	05/05/2020	Check Sequence: 80 009-016-5-450-00
	Check Total:	994.00		
Vendor: 1912 523800	Sidener Environmental Services Inc. Repair on Chlorine Vacuum Regulator	709.48	05/05/2020	Check Sequence: 81 201-202-5-450-00
	Check Total:	709.48		
Vendor: 1587 B-19-190042 B-19-190043 B-19-190145 B-20-020018 B-20-020027	Timothy Singler 240 Flax Dr - Plumbing Rough-in Inspection 244 Flax Dr - Plumbing Rough-in Inspection 2936 Herzog Ln - Underfloor Plumbing Inspection 1209 12th St - Plumbing Rough-in Inspection 330 Hampton Ct - Plumbing Rough-in Inspection	190.00 190.00 225.00 15.00 25.00	05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020	Check Sequence: 82 001-013-5-390-82 001-013-5-390-82 001-013-5-390-82 001-013-5-390-82 001-013-5-390-82
	Check Total:	645.00		
Vendor: 4986 20150122	Spatial Connections Inc Custom WebMap Subscription Services -PW Map & Water Div.Map- May	65.00	05/05/2020	Check Sequence: 83 201-201-5-390-00
	Check Total:	65.00		
Vendor: 5696 783961	SANDY STROFF YAH TRIP CANCELLE- COVID-19	170.00	05/05/2020	Check Sequence: 84 009-016-4-371-66
	Check Total:	170.00		
Vendor: 3756	Stryker Sales Corporation			Check Sequence: 85

2995613M	NIBP CUFF- REUSABLE BAY ONET, SINGE PATIENT USE BAYONET	75.40	05/05/2020	401-401-5-430-00
2999361M	HOSE- NIBP 9FT BAYONET	53.95	05/05/2020	401-401-5-430-00
	Check Total:	129.35		
Vendor: 5151 2510965	SUMNER ONE, INC. COLOR OVERAGES	9.60	05/05/2020	Check Sequence: 86 101-101-5-340-00
	Check Total:	9.60		
Vendor: 5679 9107408	SYDENSTRICKER NOBBE PARTNERS 2 Main & 4 Gutter Brooms	1,093.30	05/05/2020	Check Sequence: 87 001-017-5-430-00
	Check Total:	1,093.30		
Vendor: 2378 278095 278096	Dan Tailleir DROP ROD ASSEMBLY FOR GATE AT SPINDLER PARK REPAIR FENCE AT GLIK PARK BALL FIELD	150.00 575.00	05/05/2020 05/05/2020	Check Sequence: 88 009-016-5-390-00 009-016-5-390-00
	Check Total:	725.00		
Vendor: 2028 242659	Teklab Inc Blowdown/Lagoon	44.10	05/05/2020	Check Sequence: 89 201-202-5-390-23
	Check Total:	44.10		
Vendor: 1007 41700	The Cornerstone Insurance Group MARCH FSA PLAN ADMIN/DEBIT CARD FEE	227.50	05/05/2020	Check Sequence: 90 001-011-5-390-00
	Check Total:	227.50		
Vendor: 74 24697 24697 24697 24697 24697	Third Millennium Assoc Inc UTILITY BILL RENDERING UTILITY BILL RENDERING UTILITY BILL RENDERING UTILITY BILL RENDERING UTILITY BILL RENDERING	283.88 283.88 851.65 283.88 189.26	05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020	Check Sequence: 91 201-201-5-390-00 301-301-5-390-00 101-101-5-390-00 713-713-5-390-00 001-011-5-390-00
	Check Total:	1,892.55		
Vendor: 5397 87018	TIMES TRIBUNE CPZB Legal Notice for May 6th meeting	16.40	05/05/2020	Check Sequence: 92 001-013-5-390-00
	Check Total:	16.40		
Vendor: 2097 F110574575.01	Truck Centers Inc TRK #98 FUEL FILTER	37.97	05/05/2020	Check Sequence: 93 101-104-5-460-00
	Check Total:	37.97		
Vendor: 5129 504621 504622	Utility Service Co Inc 1,500,000 GST GROUND STORAGE TANK- QUARTERLY 1,000,000 GST GROUND STORAGE TANK- QUARTERLY	24,362.50 12,707.09	05/05/2020 05/05/2020	Check Sequence: 94 201-202-5-550-00 201-202-5-550-00
	Check Total:	37,069.59		
Vendor: 1866 PB2414	Vermeer Midwest 2 O-Rings, Seal Ring, Gasket	71.06	05/05/2020	Check Sequence: 95 201-203-5-450-00
	Check Total:	71.06		
Vendor: 2145 0444530 0444530 0444530 0444530 0444530 0444530 0444530 0444530 0444530	Wal Mart Community/GEMB WAL-MART OPERATING SUPPLIES- SHOWER CURTAIN FOR AT PD WAL-MART OPERATING SUPPLIES WAL-MART OPERATING SUPPLIES WAL-MART OPERATING SUPPLIES WAL-MART OPERATING SUPPLIES WAL-MART OPERATING SUPPLIES WAL-MART OPERATING SUPPLIES WAL-MART OPERATING SUPPLIES WAL-MART OPERATING SUPPLIES WAL-MART OPERATING SUPPLIES	9.88 53.39 4.56 72.24 4.70 30.28 81.85 21.12 200.51	05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020 05/05/2020	Check Sequence: 96 401-401-5-430-00 009-016-5-460-00 001-012-5-390-00 401-401-5-430-00 301-304-5-430-00 009-016-5-430-00 009-009-5-430-00 009-016-5-450-00 001-012-5-430-00
	Check Total:	478.53		
Vendor: 492 16145CM 16527 16527 16568	Warning Lites of Southern IL, LLC SIGN, FACE DG 24" TRI YIELD, SIGN DG 24" YIELD 20 YIELD SIGNS & 30 DECAL STICKERS RED/WHITE RESTOCKING FEE FOR HIP YIELD SIGNS MOTORCYCLE OR COMPACT CAR PARKING ONLY- SIGN	-880.50 1,214.10 44.03 14.94	05/05/2020 05/05/2020 05/05/2020 05/05/2020	Check Sequence: 97 008-008-5-430-00 008-008-5-430-00 001-017-5-430-00 009-016-5-430-00
	Check Total:	392.57		
Vendor: 4979 977989 977989	Watts Copy Systems Inc. MTN/USAGE FOR COPIER- LANA'S COPIER MTN/USAGE FOR COPIER- LANA'S COPIER	39.31 39.31	05/05/2020 05/05/2020	Check Sequence: 98 111-111-5-340-00 001-011-5-340-00
	Check Total:	78.62		
Vendor: 946	Wicks Aircraft and Motorsport			Check Sequence: 99

10782226	PULSE OXIMETER	150.00	05/05/2020	401-401-5-430-00
	Check Total:	150.00		
Vendor: 5700 WILLIAMS	KELSEY WILLIAMS KRC PARTY RENTAL REFUND	120.00	05/05/2020	Check Sequence: 100 009-009-4-347-79
	Check Total:	120.00		
Vendor: 504 1988 2242 3263	Woodcrest Small Engine 1 GALLON RED ARMOR OIL LEAF CLEANUP AND REMOVAL PARTS FOR THE LAWN CARE	95.94 125.00 25.68	05/05/2020 05/05/2020 05/05/2020	Check Sequence: 101 009-016-5-450-00 009-503-5-390-00 101-102-5-450-00
	Check Total:	246.62		
Vendor: 2311 1070405	ZirMed INC. MONTHLY PROFESSIONAL CLAIMS MANAGEMENT/REMITTANCE ADVICE FEE	130.20	05/05/2020	Check Sequence: 102 401-401-5-390-00
	Check Total:	130.20		
	<b><u>GRAND TOTAL:</u></b>	<b><u>\$ 1,200,028.26</u></b>		